

## 12.1502 Exception 1502

### 12.1502.1 The lands shall only be used for the following purposes:

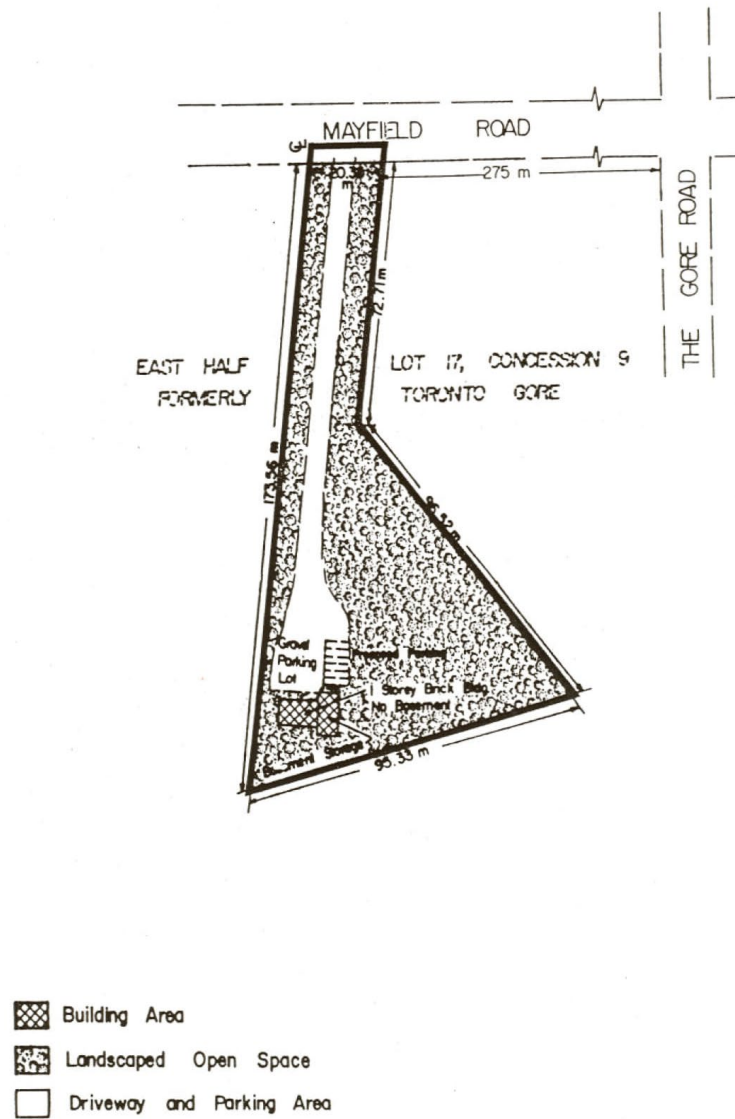
- .1 shall, until 30 October 1987, only be used for the following purposes:
  - .a an office, other than:
    - .i an office for a physician, dentist or drugless practitioner, or
    - .ii a real estate office,
  - .b a bank, trust company or finance company.
- .2 shall, after 30 October 1987, only be used for the following purposes:
  - .a a bank, trust company or finance company.

### 12.1502.2 The lands shall be subject to the following requirements and restrictions:

- .1 the side yard widths, rear yard depth and lot width shall be as shown on ~~Schedule C~~ **Figure 1** - ~~Section Exception~~ 1502;
- .2 all buildings shall be located within the area shown as Building Area on **Figure 1** ~~Schedule C - Exception Section~~ 1502;
- .3 the Maximum Gross Commercial Floor Area of the building shall be 160 square metres;
- .4 Landscaped Open Space shall be provided and maintained in the locations shown as landscaped Open Space on **Figure 1** ~~Schedule C - Exception Section~~ 1502;
- .5 a minimum of six parking spaces shall be provided in the locations shown as Driveway and Parking Area on **Figure 1** ~~Schedule C - Exception Section~~ 1502;
- .6 all garbage and refuse containers shall be located within the building, and
- .7 no outside storage or display of goods or vehicles shall be permitted.

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**Figure 1**



## 12.1504 Exception 1504

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### 12.1504.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 a service station;
- .3 a convenience restaurant, and
- .4 purposes accessory to the other permitted purposes.

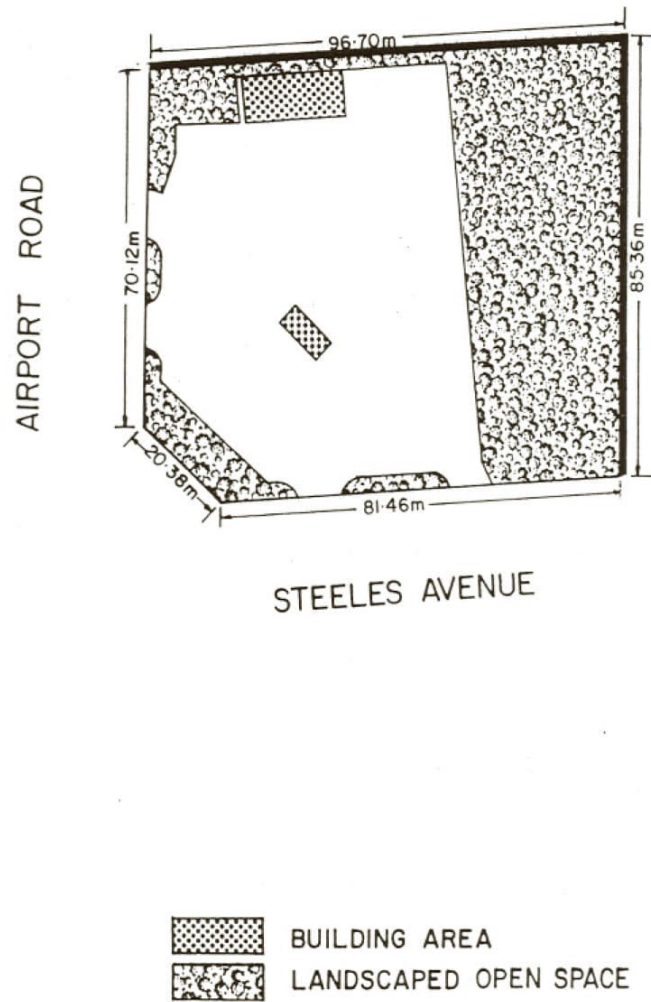
### 12.1504.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 14 metres
- .2 Maximum Gross Commercial Floor Area of all buildings and structures: 250 square metres
- .3 Maximum Building Height: 1 storey
- .4 Minimum Number of Parking Spaces:
  - .a for convenience restaurant 1 parking space for each 6.0 square metres of gross commercial floor area or portion thereof
  - .b for gas bar 1 parking space for each 23 square metres of gross commercial floor area or portion thereof
- .5 all buildings and structures shall be located in the areas identified as Building Area on **SCHEDULE C** **Figure 1 - SECTION Exception 1504**;
- .6 Landscaped Open Space shall be provided and maintained in the areas identified as landscaped Open Space on **Figure 1** **SCHEDULE C - SECTION Exception 1504**;
- .7 no outside storage or display of goods, materials or machinery shall be permitted, and
- .8** no amusement devices or adult entertainment facilities shall be permitted.

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**Figure 1**



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## 12.1505 Exception 1505

### 12.1505.1 The lands shall only be used for the following purposes:

- .1 a restaurant;
- .2 a recreation club, which may include one dwelling unit for a resident manager;
- .3 outdoor recreation facilities associated with the recreation club; and
- .4 purposes to the other permitted purposes.

### 12.1505.2 The lands shall be subject to the following requirements and restrictions:

#### .1 Restaurant and Recreation Club

- .a only permitted within the development envelope as shown on **SCHEDULE C Figure 1 - SECTION Exception 1505;**
- .b Maximum Combined Gross Floor Area: 1000 square metres; and
- .c Maximum Height of any building: 10 metres.

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#### .2 Off-Street Parking

- .a only permitted within the development envelope as shown on **Figure 1 SCHEDULE C - Exception SECTION 1505;**
- .b 1 parking space per 5 square metres of restaurant use;
- .c 8 parking spaces per bocce court;
- .d 3 parking spaces for each tennis, squash, handball or racquetball court;
- .e 1 parking space per 20 square metres of office floor space;
- .f 10 parking spaces per swimming pool;
- .g 1 parking space per 10 square metres of floor space devoted to other education, recreation, lounge or meeting room uses;
- .h each parking space shall have unobstructed access to an aisle leading to a driveway;
- .i aisles leading to parking spaces and providing unobstructed access from each parking space to a driveway shall be established on the following basis:

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Angle of Parking	Minimum Aisle Width
0° to less than 55°	4 metres
55° to less than 75°	5.5 metres
75° to 90°	6.5 metres

#### Exception Zones

.j every parking space shall be either a parallel parking space measuring 2.7 metres by 7.0 metres, or an angled parking space measuring 2.9 metres by 5.8 metres.

.3 a private driveway is permitted outside the development envelope only as shown on **Figure 1 Schedule C - Exception SECTION 1505**, and anywhere within the development envelope.

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.4 Landscaped Open Space shall be provided as shown on **Figure 1 SCHEDULE C - Exception SECTION 1505**.

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.5 outdoor recreational facilities are only permitted within the development envelope and within the landscaped open space and outdoor recreation facilities area, as shown on **Figure 1 SCHEDULE C - Exception SECTION 1505**.

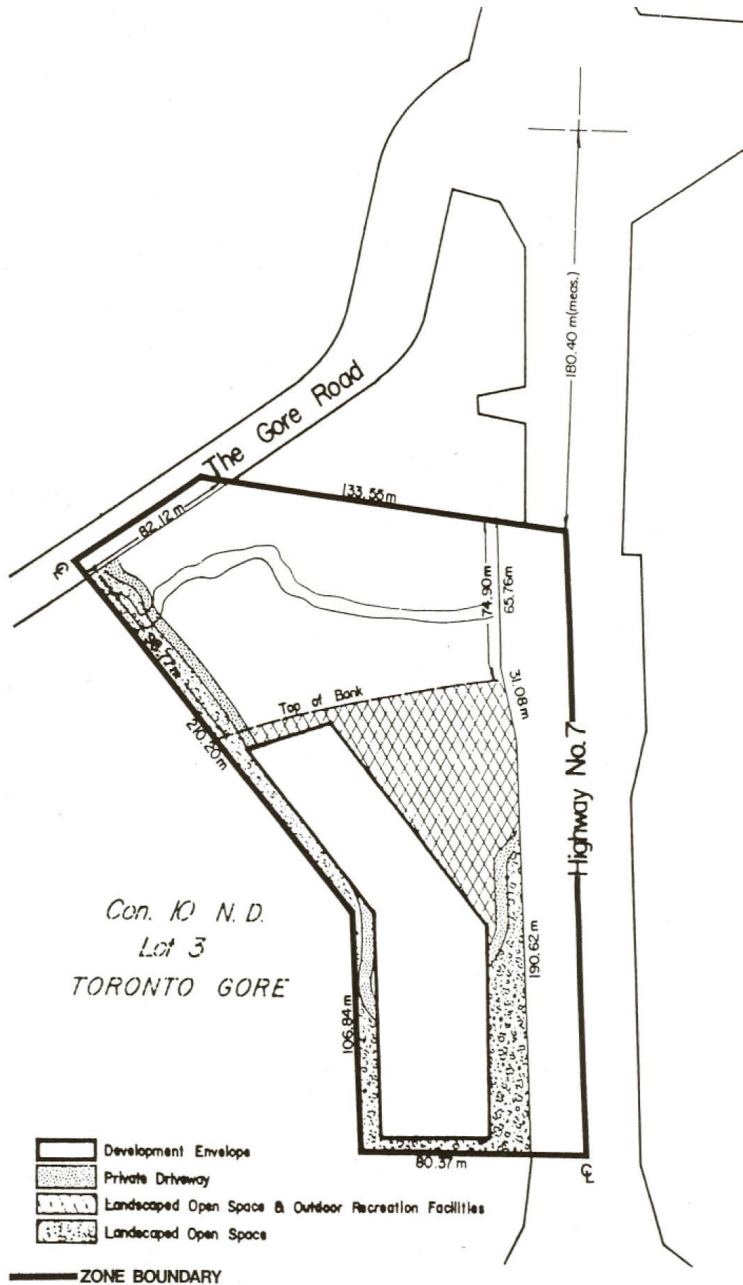
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**Figure 1**

Exception Zones

## Exception Zones

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## 12.1506 Exception 1506

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### **12.1506.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purpose of a fire hall.

### **12.1506.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Lot Area: 0.2 hectares
- .2 Minimum Lot Width: 30 metres
- .3 Minimum Lot Depth: 45.7 metres
- .4 Minimum Side Yard Width: 3 metres
- .5 Minimum Rear Yard Depth: 12 metres
- .6 Minimum Street Setback: 32 metres from centre line of a public highway
- .7 Minimum Parking: 5 spaces per bay

## 12.1507 Exception 1507

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### **12.1507.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for a community centre.
- .2 shall be subject to the requirements and restrictions relating to the **I2** zone.

## 12.1508A Exception 1508A

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### **12.1508A.1 The lands shall only be used for the following purposes:**

- .1 shall be used for the purposes permitted in the **REPE2 Zone**.

### **12.1508A.2 The lands shall be subject to the following requirements and restrictions:**

- .1 all structures and excavation, including dwellings, accessory building, swimming pools, septic tanks and tile beds, may only be located in the areas shown in shaded tone as 'building areas' on **Figure 1 SCHEDULE C – SECTION 1508**.

### Figure 1



## 12.1508B Exception 1508B

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### 12.1508B.1 The lands shall only be used for the following purposes:

- .1 those purposes permitted in **GEM2 - ExceptionSection 202**; and,
- .2 a place of worship.

### 12.1508B.2 The lands shall be subject to the following requirements and restrictions:

- .1 a place of worship shall only be permitted within an industrial mall;
- .2 The total gross floor area devoted to a place of worship use shall not exceed 700 square metres, of which any individual place of worship shall not exceed 350 square metres in gross floor area;
- .3 parking for a place of worship shall be provided at a rate of 1 space for each 45 square metres of gross floor area.

### 12.1509 Exception 1509

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#### 12.1509.1 The lands shall only be used for the following purposes:

- .1 shall only be used for those purposes permitted in an **RE2** Zone.

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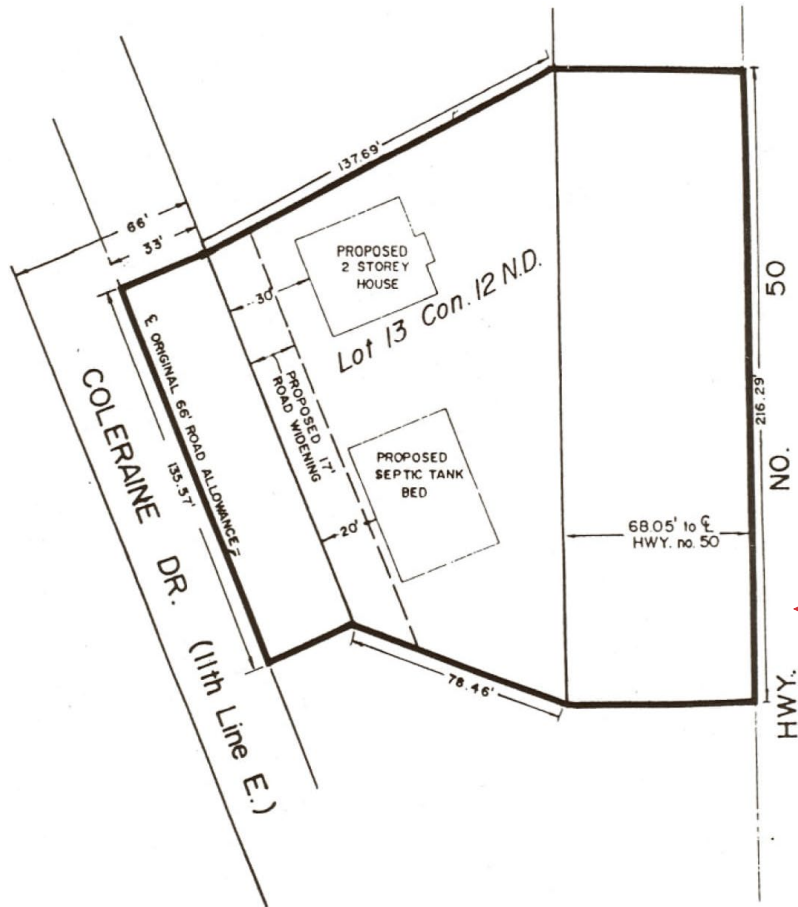
#### 12.1509.2 The lands shall be subject to the following requirements and restrictions:

- .2 the minimum lot width and minimum yard depths shall be as shown on **SCHEDULE C Figure 1** - **SECTION Exception 1509**.

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- .1 Minimum Lot Area: 1350 square metres
- .2 Minimum Ground Floor Area:
  - .a One Storey: 150 square metres
  - .b Greater than one storey: 97.5 square metres
- .3 Access: from Coleraine Drive

**Figure 1**



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## 12.1510 Exception 1510

### 12.1510.1 The lands shall only be used for the following purposes:

- .1 shall only be used for dry industrial uses, but not for any use which is obnoxious by reason of the noise or vibration created or the emission of dust, dirt, objectionable odours or gases.

### 12.1510.2 The lands shall be subject to the following requirements and restrictions:

- .1 dry industrial operations shall only be permitted within an enclosed building; and
- .2 outdoor storage of goods, materials or machinery shall not be permitted.
- .3 Landscaped Open Space with a minimum width of 4.6 metres shall be provided and shall occupy an area indicated as Landscaped Open Space on **SCHEDULE C Figure 1 - SECTION Exception 1510.**
- .4 development shall only be permitted in conformity with the following site development standards:
  - .a Minimum Lot Area: 0.8 metres
  - .b Minimum Lot Frontage: 40 metres measured in a straight line from points on the side lot lines which are 18 metres from the front lot line
  - .c Minimum Front Yard Depth: 18 metres
  - .d Minimum Side Yard Width: 8 metres
  - .e Maximum Lot Coverage of all Buildings and Structures: 50% of the lot area
  - .f Maximum Building Height: 10 metres  
A tower, cupola, steeple or other roof structure which is used only as an ornament or to house the mechanical equipment of any building shall be disregarded in calculating the height of the building.
  - .g Off-Street Parking:
    - .i at least one parking space on the same lot for each 55 square metres of gross floor area. (This parking space shall be used only for vehicles of employees, vehicles of customers and vehicles required in connection with the main use of the lot).
    - .ii every parking space shall be either a parallel parking space measuring 2.7 metres by 7.0 metres, or angled parking space measuring 2.9 metres by 5.8 metres.
  - .h Front Yard Use: Where the floor area of the main building on the premises is greater than 200 metres, no fence shall be permitted in the front yard and no truck loading facilities shall be provided in the front yard.
  - .i Minimum Rear Yard Depth: 7 metres, but none if abutting a rail line and 15 metres if abutting a street, a 0.3 metre reserve or a Residential or Institutional Zone

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- .j Off Street Loading
  - .i ~~—~~Floor Area of Building Number of Loading Spaces
    - 280 square metres none
    - 280 square metres 1
    - to 1860 square metres
    - each additional 1
    - 1860 square metres
  - .ii ~~—~~no loading space within the front yard;
  - .iii ~~—~~each loading space shall have an unobstructed ingress and egress of not less than 6 metres in width to and from a public street.

#### 12.1510.3 for the purposes of section 1510:

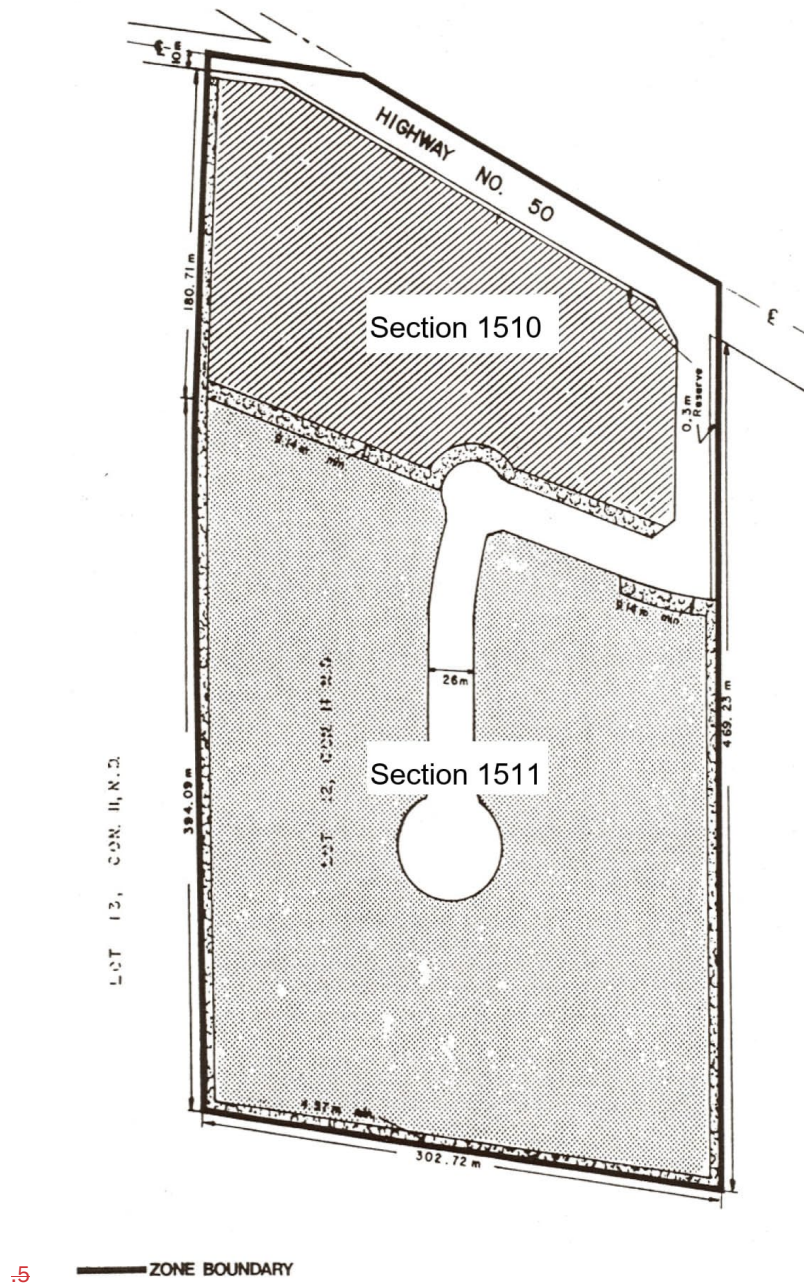
- .1 Landscaped Open Space shall mean open space on a lot which is used for the growth, maintenance and preservation of grass, flowers, trees, shrubs and other vegetation.
- .2 Loading Space shall mean an unencumbered area of land which is provided and maintained upon the same lot or lots upon which the principal use is located and which area:
  - .a is provided for the temporary parking of one (1) commercial motor vehicle while merchandise or materials are being loaded or unloaded from such vehicle;
  - .b consists of a space measuring a minimum of 7.5 metres long and 3.6 metres wide and having a minimum vertical clearance of 4.3 metres;
  - .c is not upon or partly upon any street or lane;
  - .d is accessible from a street or lane by means of driveways, aisles, manoeuvring areas or similar areas, no part of which shall be used for the temporary parking or storage of motor vehicles.
- .3 Lot Area shall mean the total horizontal area enclosed within the lot lines of a lot. In the case of a corner lot having a street line rounding at the corner of a radius of 7.5 metres or less, the lot area of such lot shall be calculated as if the lot lines were produced to their point of intersection.
- .4 Parking Space shall mean a rectangular area accessible from a driveway or aisle for the temporary storage of motor vehicles but shall not include any part of a driveway or aisle.
- ~~.5~~ Dry Industrial Use shall mean any establishment involving repairing, servicing, processing, manufacturing, storing or shipping which does not require any water for cooling, manufacturing, processing or equipment washing, and water is merely to serve the domestic needs of the employees.

**Figure 1**

Exception Zones

Exception Zones

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## 12.1511 Exception 1511

### 12.1511.1 The lands shall only be used for the following purposes:

- .1 shall only be used for dry industrial uses, but not for any use which is obnoxious by reason of the noise or vibration created or the emission of dust, dirt, objectionable odours or gases.

### 12.1511.2 The lands shall be subject to the following requirements and restrictions:

- .1 dry industrial uses may involve the storage of goods and materials in the open including a bulk storage yard, truck terminal and contractors' yards and the storage of building supplies, heavy equipment and heavy machinery storage; and
- .2 any area used for outside storage shall be surfaced and maintained with either concrete, asphalt, crushed stone or other hard surface and dustless materials.
- .3 Landscaped Open Space with a minimum width of 4.6 metres shall be provided and shall occupy an area indicated as Landscaped Open Space on **SCHEDULE C Figure 1 - SECTION Exception 1511**.
- .4 development shall only be permitted in conformity with the following site development standards:
  - .a Minimum Lot Area: 0.8 hectares.
  - .b Minimum Lot Width: 40 metres measured in a straight line from points on the side lot lines which are 18 metres from the front lot line.
  - .c Minimum Front Yard Depth: 18 metres.
  - .d Minimum Side Yard Width: 8 metres.
  - .e Maximum Lot Coverage of all buildings and structures: 50% of the lot
  - .f Maximum Building Height: 10 metres  
A tower, cupola, steeple or other roof structure which is used only as an ornament or to house the mechanical equipment of any building shall be disregarded in calculating the height of the building.
  - .g Off-Street Parking:
    - .i at least one parking space on the same lot for each 55 square metres of gross floor area. This parking space shall be used only for vehicles of employees, vehicles of customers and vehicles required in connection with the main use of the lot.
    - .ii every parking space shall be either a parallel parking space measuring 2.7 metres by 7.0 metres, or angled parking space measuring 2.9 metres by 5.8 metres.
  - .h Front Yard Use: where the floor area of the main building on the premises is greater than 200 metres, no open storage shall be permitted between the main building and the street

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line, no fence shall be permitted in the front yard and no truck loading facilities shall be provided in the front yard.

.i Off-Street Loading:

.i Floor Area of Building Number of Loading Spaces

280 square metres none

280 square metres 1

to 1860 square metres

each additional 1

1860 square metres

.ii no loading space within the front yard; and

.iii each loading space shall have an unobstructed ingress and egress of not less than 6 metres in width to and from a public street.

**12.1511.3 for the purposes of section 1511:**

- .1 Landscaped Open Space shall mean open space on a lot which is used for the growth, maintenance and preservation of grass, flowers, trees, shrubs and other vegetation.
- .2 Loading Space shall mean an unencumbered area of land which is provided and maintained upon the same lot or lots upon which the principal use is located and which area:
  - .a is provided for the temporary parking of one (1) commercial motor vehicle while merchandise or materials are being loaded or unloaded from such vehicle;
  - .b consists of a space measuring a minimum of 7.5 metres long and 3.6 metres wide and having a minimum vertical clearance of 4.3 metres;
  - .c is not upon or partly upon any street or lane; and
  - .d is accessible from a street or lane by means of driveways, aisles, manoeuvring areas or similar areas, no part of which shall be used for the temporary parking or storage of motor vehicle.
- .3 Lot Area shall mean the total horizontal area enclosed within the lot lines of a lot. In the case of a corner lot having a street line rounding at the corner of a radius of 7.5 metres or less, the lot area of such lot shall be calculated as if the lot lines were produced to their point of intersection.
- .4 Parking Space shall mean a rectangular area accessible from a driveway or aisle for the temporary storage of motor vehicles but shall not include any part of a driveway or aisle.
- .5 Bulk Storage Yard shall mean a place where land is used for the storage in the open of goods and materials such as coal, lumber, building supplies, construction equipment and the like, but does not include salvage, junk or scrap yards.

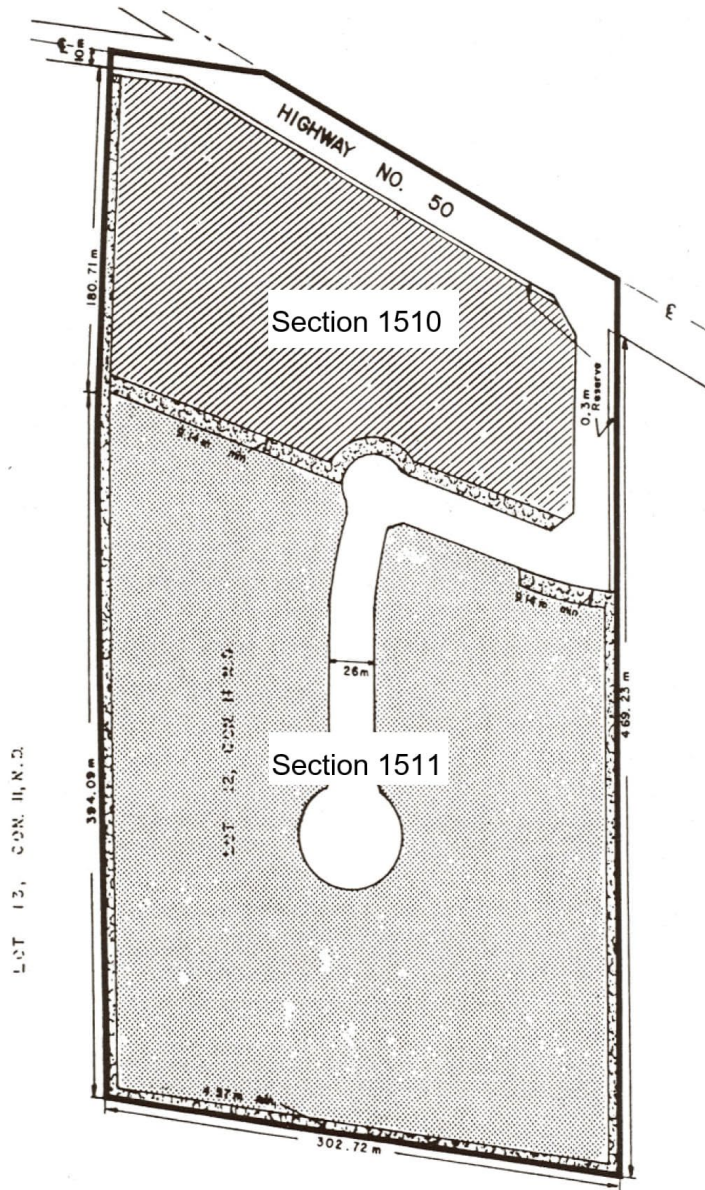
.6 Dry Industrial Use shall mean any establishment involving repairing, servicing, processing, manufacturing, storing or shipping which does not require any water for cooling, manufacturing, processing or equipment washing, and water is merely to serve the domestic needs of the employees.

**Figure 1**

Exception Zones

Exception Zones

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## 12.1512 Exception 1512

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### 12.1512.1 The lands shall only be used for the following purposes:

- .1 the warehousing and storage of goods and products and materials within an enclosed building;
- .2 the manufacture and assembly of the following products:
  - .a clothing and finished textile or fabric products;
  - .b printing and bookbinding and lithographing;
  - .c die castings involving the use of plastics and light metals including aluminum zinc;
  - .d light manufacturing of tubing, pipes, tools and instruments, electrical components, building hardware, telephone, television, radio and electronic components, drugs and pharmaceutical products, cosmetics and associated products;
- .3 shops for the repair or manufacturing of small goods and wares;
- .4 business, professional and administrative offices connected with another permitted purpose;
- .5 exhibition and conference halls;
- .6 radio, television broadcasting and transmission facilities;
- .7 one dwelling unit, as part of an industrial building, only for the use of a caretaker or night watchman employed in connection therewith;
- .8 any use by a public body of the same general character as the other permitted purposes;
- .9 purposes accessory to the other permitted purposes, including a retail outlet operated in connection with an industrial use located on the site, provided that the total gross floor area of the retail outlet is not more than fifteen percent (15%) of the total gross floor area of the industrial use.

### 12.1512.2 The lands shall be subject to the following requirements and restrictions:

- .1 The Minimum Front Yard Depth shall be 25 metres;
- .2 the Minimum Lot Area shall be 2,000 square metres;
- .3 the minimum side yard width on each side of the building constructed thereon shall be 8 metres;
- .4 for any lot having a front lot line length in excess of 50 metres, the minimum side yard width on each side of the building constructed thereon shall be 8 metres or fifteen (15%) of the length of the said front lot line, whichever is more, up to a maximum side yard width requirement of 30 metres;
- .5 the Maximum Coverage of buildings and structures shall not exceed fifty percent (50%) of the lot area;

- .6 the Minimum Rear Yard Depth shall be 20 metres;
- .7 the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped, such landscaping to consist of paved driveways and parking areas, lawns and planting strips, provided however that paved areas shall not exceed fifty percent (50%) of the area of the required front yard or the area of the required side yards.
  - .a no outdoor truck loading facilities are permitted in the front yard;
  - .b if the building depth is less than 60 metres, no outdoor truck loading facilities are permitted within the front half of the building depth;
  - .c if the building depth is greater than 60 metres, no outdoor truck loading facilities are permitted within the first 30 metres of the building depth;
- .8 at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking space shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;
- .9 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:\
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .10 outside storage of goods, material and equipment shall not be permitted;
- .11 a Landscaped Open Space of a minimum of 15 metres in width shall be provided and maintained along Airport Road, Williams Parkway and the proposed Arterial Road, as shown on **Schedule C**  
**Figure 1 - SECTION Exception 1512.**

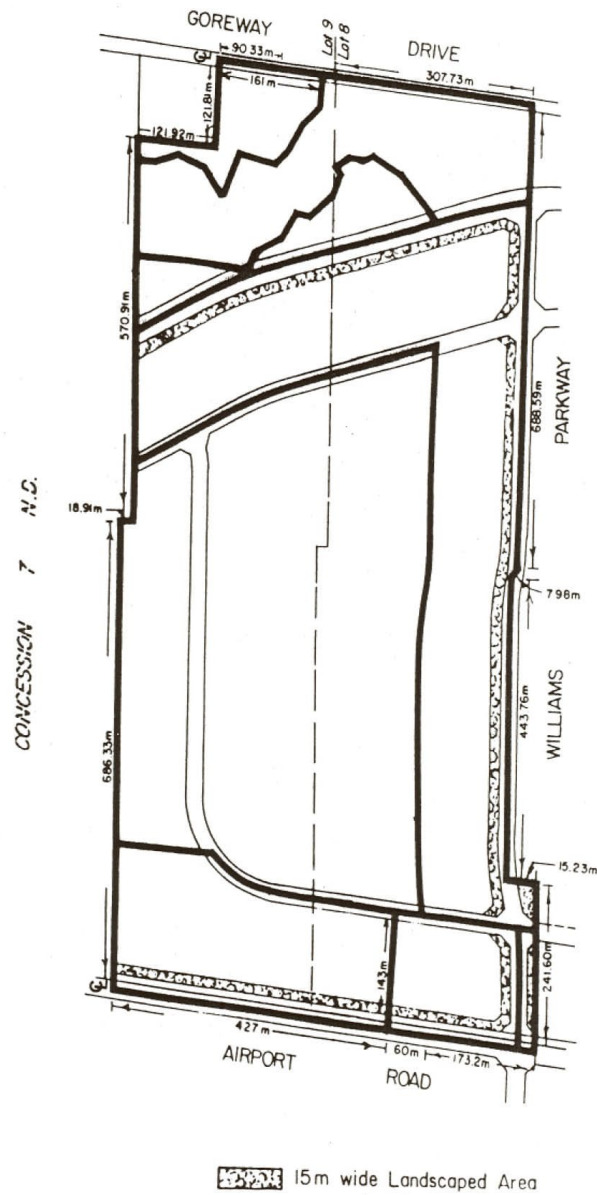
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**Figure 1**

Exception Zones

## Exception Zones

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### 12.1513 Exception 1513

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#### 12.1513.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted by **section-Exception 12.1512.1**;
- .2 the manufacturing, assembly, storage and distribution of semi-finished and finished products;
- .3 dry cleaning plants, laundry and dyeing establishments, excluding any dangerous uses;
- .4 dairy products plants and bakeries;
- .5 a builder's supply yard or a contractor's yard including a repair and assembly shop, but excluding any scrap metal storage or salvage yards;
- .6 any purposes accessory to the other permitted purposes.

#### 12.1513.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 15 metres for a building less than 8 metres in height above grade,
  - .b 18 metres for a building less than 10 metres but greater than 8 metres in height above grade,
  - .c 21 metres for a building less than 12 metres but greater than 10 metres in height above grade,
  - .d 24 metres for a building less than 15 metres but greater than 22 metres in height above grade;
- .2 Minimum Lot Area shall be 2,000 square metres;
- .3 Minimum Rear Yard Depth shall be 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no rear yard shall be required;
- .4 minimum side yard width shall be 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no side yard shall be required;
- .5 the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped, such landscaping to consist of paved driveways and parking areas, lawns and planting strips, provided however that paved areas shall not exceed fifty (50%) of the area of the required front yard or the area of the required side yards.
- .6 no truck loading facility or hydro electric transformer shall be located within the front yard or closer to the street than any part of the front wall of the building;
- .7 outside storage of goods, material and equipment is permitted subject to the following conditions:

## Exception Zones

- .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area is enclosed by a fence or wall not less than 2.4 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement;
  - .c where the storage area abuts a street or land zoned for purposes other than industrial, a landscaped strip 2 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s);
- .8 the provisions of **section-exception 12.1513.2(7)** shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
- .a the total area so used does not exceed five percent (5%) of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;
- .9 all manufacturing and processing operations other than:
- .a the moving of goods and materials in and out of buildings and structures;
  - .b associated minor preparatory and finishing work, and
  - .c associated assembly of components too large to be assembled within the buildings and structures, shall be carried out within buildings and structures;
- .10 no building shall have more than four storeys for a manufacturing use or five storeys for an office use, exclusive of mechanical or elevator areas;
- .11 for the purposes permitted by **section-exception 12.1513.1(1)**, the parking requirements as described under **section-exception 12.1512.2(8)** shall apply;
- .12 for all other purposes, as permitted by **sections-exceptions 12.1513.1 (2) to (6)**, at least one parking space for each 70 square metres of gross floor area shall be provided on the same lot, and such parking spaces shall be used only for the vehicles of employees and customers, and for vehicles required in connection with the main use of the lot.

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## 12.1514 Exception 1514

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### 12.1514.1 The lands shall only be used for the following purposes:

- .1 one only of a bank or a trust company savings office or a similar financial institution;
- .2 offices, other than the offices for medical, dental and similar practitioners;
- .3 a dining room restaurant, a convenience restaurant, a take-out restaurant;
- .4 a retail store selling new merchandise only, barber shop, beauty parlour, shoe shine parlour, service or repair shop, tailor shop, postal station, self-service laundry, a laundry or dry cleaning distribution station, snack bar, ice cream parlour, photographer's or artist's studio, or a bake shop;
- .5 a service station, a gas bar and a motor vehicle washing establishment.

### 12.1514.2 The lands shall be subject to the following requirements and restrictions:

- .1 not more than 465 square metres of gross floor area shall be used for any one particular commercial use.
- .2 the Maximum Building Height shall be two (2) storeys, except that, for buildings fronting onto Automatic Road, the maximum building height shall be three (3) storeys.
- .3 one loading space shall be provided for each 2,000 square metres of gross commercial floor area;
- .4 parking spaces for commercial uses shall be provided in accordance with the following requirements:
  - .a bank, trust companies or 1 parking space for each 15 square metres financial institutions of gross floor area or portion thereof.
  - .b personal service shop 1 parking space for each 19 square metres of gross floor area or portion thereof.
  - .c furniture, furniture, 1 parking space for each 62 square metres appliances or floor coverings of gross floor area or portion thereof.
  - .d stores, offices, other than office of 1 parking space for each 31 square metres medical, dental and similar of gross floor area or portion thereof.
  - .e practitioners, dining room restaurants and 1 parking space for each 4.6 square metres taverns of gross commercial floor area or portion thereof.
  - .f mixed service restaurant 1 parking space for each 3.7 square metres of gross floor area or portion thereof.
  - .g take-out restaurant 1 parking space for each 3.7 square metres of gross floor area or portion thereof.

## Exception Zones

.h all other commercial 1 parking space for each 19 square metres of gross floor area or portion thereof.

.5 Curb service, drive-in service, or any similar activity shall not be permitted.

.6 Minimum Lot Width: 45 metres

.7 Minimum Lot Depth: 45 metres

.8 Minimum Front Yard: 15 metres

.9 Minimum Side Yard Width: 8 metres

.10 Minimum Rear Yard Depth: 8 metres

.11 Maximum Building Height: 2 storeys

.12 at least twenty (20) percent of the area of the lot shall be landscaped open space, free of all parking, driveway and paved areas.

.13 subject to **section-exception 12.1514.2(14)**, landscaped open space with a minimum width of 15 metres shall be provided and maintained along Airport Road, Williams Parkway and the proposed Arterial Road, as shown on **SCHEDULE C Figure 1 - SECTION-EXCEPTION 1512**.

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.14 For a service station, the landscaped open space along Williams Parkway may be reduced to a minimum width of 5 metres, and, along Airport Road, to a minimum of 10 metres.

.15 For the lands designated **SC LC- SECTION-Exception 1514**, one right-in, right-out driveway access on Airport Road and two right-in, right-out driveway accesses on Williams Parkway shall be permitted through the required landscaped open space.

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.16 an adult entertainment parlour shall not be permitted.

### 12.1514.3 for the purposes of section 1514:

.17 a service station, a gas bar, and a motor vehicle washing establishment shall be subject to the requirements and restrictions contained in **GCHC2 Zone** which are not in conflict with the ones set out in **section-exception 12.1514.2**.

.a **Lot Width** shall mean the straight line distance between the side lot lines, but:

.b where such lot lines are not parallel but converge towards the front lot line, the lot width shall be the straight line distance between points on the side lot lines measured on a line 6 metres back from the front lot line,

.c where such lot lines are not parallel but converge towards the rear lot line, the lot width shall be the straight line distance between points on the side lot lines measured on a line 18 metres back from the front lot line,

.d in the case of a corner lot having a street line rounding at the corner lot a radius of 7.5 metres or less, the lot width of such lot shall be calculated as if the lot lines were produced to their point of intersection.

## 12.1515 Exception 1515

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### **12.1515.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for single detached dwellings and purpose accessory thereto.

### **12.1515.2 The lands shall be subject to the following requirements and restrictions:**

- .1 shall, in respect of part of Lot 1, Registered Plan M-345, be subject to the following requirements and restrictions:
  - .a Minimum Lot Width: 72.0 metres
  - .b Minimum Lot Area: 0.49 hectares
- .2 shall in respect of part of Lot 2, Registered Plan M-345, be subject to the following requirements and restrictions:
  - .a Minimum Lot Width: 67.0 metres
  - .b Minimum Lot Area: 0.78 hectares
- .3 shall, in respect of part of Lot 13, Registered Plan M-345, be subject to the following requirements and restrictions:
  - .a Minimum Lot Width: 72.0 metres
  - .b Minimum Lot Area: 1.0 hectares
- .4 shall, in respect of part of Lot 14, Registered Plan M-345, be subject to the following requirements and restrictions:
  - .a Minimum Lot Width: 90.0 metres
  - .b Minimum Lot Area: 0.64 hectares

## 12.1516 Exception 1516

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### 12.1516.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the following purposes, subject to the requirements and restrictions relating to the **M4 PE** zone:
  - .a a motel, and
  - .b the purposes permitted in an **M4 PE** zone.

## 12.1517 Exception 1517

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### 12.1517.1 The lands shall only be used for the following purposes:

#### .1 Commercial

- .a a garden centre;
- .b a motor vehicle or boat sales, rental, leasing or service establishment, a motor vehicle repair shop, and a motor vehicle or boat parts and accessories sales establishment;
- .c only in conjunction with a motor vehicle sales, rental, leasing or service establishment, a motor vehicle body shop;
- .d a parking lot;
- .e a dining room restaurant, a convenience restaurant; a take out restaurant;
- .f a taxi or bus station;
- .g a banquet facility;
- .h a community club;
- .i a tool and equipment rental establishment;
- .j a gas bar
- .k a service station;
- .l a motor vehicle washing establishment;
- .m an animal hospital;
- .n a retail establishment having no outside storage;
- .o a health centre;
- .p a service shop;
- .q a personal service shop;
- .r a dry cleaning and laundry distribution station;
- .s a bank, trust company or finance company;
- .t an office;
- .u a retail warehouse;
- .v a radio or television broadcasting and transmission establishment; and
- .w a recreation facility or structure.

#### .2 Industrial

- .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, food, or materials within an enclosed building;
  - .b a printing establishment; and
  - .c a warehouse.
- .3 Non-Commercial
- .a a crisis care facility.
- .4 Accessory
- .a purposes accessory to other permitted uses.

**12.1517.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no outside storage or display of goods shall be permitted;
- .2 all garbage, refuse and waste containers for a restaurant shall be located within a climate controlled area within the building containing the restaurant;
- .3 all garbage and refuse storage, other than a restaurant, including any containers for the storage of recyclable materials, shall be enclosed;
- .4 an adult video store or an adult entertainment parlour shall not be permitted;
- .5 the uses permitted in ~~section-exception~~ 12.1517.1.1.t shall be restricted to a maximum gross commercial floor area of 930 square metres;
- .6 the uses permitted in ~~section-exception~~ 12.1517.1.1.n shall be restricted to 15% of the total gross commercial floor area to a maximum of 1,395 square metres;
- .7 the Maximum Gross Commercial Floor Area devoted to the sale of food within any retail establishment shall not exceed 930 square metres;
- .8 for the uses permitted in ~~section-exception~~ 12.1517.1.1.e the following shall apply:
  - .a a maximum of two restaurants shall be permitted on a lot;
  - .b when a restaurant is located in an industrial mall, a maximum of one restaurant shall be permitted in the industrial mall; and
  - .c shall have a maximum gross commercial area of 465 square metres per restaurant;
- .9 a 12 metre wide landscaped area shall be provided along Goreway Drive and Highway #7 and a 3.5 metre wide landscaped open space shall be provided along an [NSF](#) zone; and
- .10 all buildings and structures shall be set back a minimum of 14 metres from the right-of-way of Highway #7.

**12.1517.3 for the purposes of ~~section~~exception 1517:**

- .1 Retail Warehouse shall mean a building or structure, or part of a building or structure, where a single user occupies a minimum gross floor area of 1,860 square metres and where the principal use is the sale of products displayed and stored in a warehouse format and where such products shall not include food and pharmaceutical products.
- .2 Crisis Care Facility shall mean a place where short-term temporary accommodation is provided for persons in emergency situations

## 12.1518 Exception 1518

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### **12.1518.1 The lands shall only be used for the following purposes:**

- .1 a woodworking plant engaged in the manufacturing of finished wood products
- .2 limited retail sales of finished wood products manufactured on the premises with an area of not more than ten (10) percent of the gross floor area
- .3 agricultural use.

### **12.1518.2 The lands shall be subject to the following requirements and restrictions:**

- .1 off-street parking shall be provided on the basis of one parking space for each 93 square metres of gross floor area and one additional parking space for each 18.5 square metres of retail floor area
- .2 one driveway access shall be permitted only to Coleraine Drive, and no access shall be permitted to King's Highway Number 50

## 12.1519 Exception 1519

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### 12.1519.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the ~~RHm1-RE~~ ~~12~~ Zone

### 12.1519.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.8 hectares

## 12.1520 Exception 1520

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### **12.1520.1 The lands shall only be used for the following purposes:**

- .1 agricultural use;
- .2 a single detached dwelling;
- .3 a home occupation; and
- .4 purposes accessory to the other permitted purposes.

### **12.1520.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Lot Area: 4 hectares; and
- .2 on a lot greater than 2 hectares in size, an accessory building having a ground floor area greater than 75 square metres shall only be of wood or metal frame construction with wood or metal cladding.

## 12.1521 Exception 1521

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### 12.1521.1 The lands shall only be used for the following purposes:

#### .1 Industrial

- .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
- .b a warehouse; and,
- .c a printing establishment; and,

#### .2 Non-Industrial

- .a only in conjunction with an industrial use permitted in **section-exception 12.1521.1(1)** a corporate office building;
- .b only in conjunction with an industrial mall, one of the following:
  - .i one dining room restaurant; or,
  - .ii one convenience restaurant; or,
  - .iii one take-out restaurant;
- .c only in conjunction with an industrial mall, an office use, excluding a real estate office or an office for medical, health care, or dental practitioners;
- .d only in conjunction with an industrial mall;
  - .i a retail establishment, having no outside storage and excluding a supermarket;
  - .ii a service shop;
  - .iii a community club;
  - .iv a health centre;
  - .v a custom workshop;
  - .vi an animal hospital;
  - .vii a day nursery;
  - .viii a dry cleaning and laundry establishment;
  - .ix a radio or television broadcasting and transmission establishment;
  - .x a recreation facility or structure;
  - .xi a religious institution, including an associated place of public assembly; and,

- .xii a crisis care facility; and,
- .e only in conjunction with an industrial mall;
  - .i a bank, trust company or financial institution;
  - .ii banquet facility; and,
  - .iii a commercial, technical or recreational school.

.3 Accessory

- .a an ancillary educational purpose;
- .b an ancillary office use operated in connection with a particular purposes permitted by **section-exception 12.1521.1(1)**, provided that the total gross floor area of the office is not more than 50 percent of the total gross floor area of the particular industrial use;
- .c an ancillary retail outlet operated in connection with a particular use permitted by **section-exception 12.1521.1(1)**, provided that the total gross floor area of the retail outlet is not more than 15 percent of the total gross floor area of the particular industrial use; and,
- .d purposes accessory to the other permitted purposes.

**12.1521.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Maximum Gross Commercial Floor Area devoted to those restaurant type uses permitted in **section-exception 1521.1(2)(b)** shall be restricted to 5% of the gross floor area of the entire building, to a maximum of 465 square metres;
- .2 Maximum Gross Commercial Floor Area devoted to those office type uses permitted in **section-exception 1521.1(2)(c)** shall be restricted to 5% of the gross floor area of the entire building, to a maximum of 465 square metres;
- .3 Maximum Gross Commercial Floor Area devoted to those commercial and institutional type uses permitted in **section-exception 1521.1(2)(d)** shall be restricted to 5% of the gross floor area of the entire building, to a maximum of 465 square metres;
- .4 Landscaped Open Space having minimum widths of 9.0 metres and 6.0 metres shall be provided and maintained along Airport Road and Intermodal Drive, respectfully, except at approved driveway locations; and,
- .5 an adult entertainment parlour, an adult video store or adult book store shall not be permitted.

**12.1521.3 for the purposes of ~~section-exception~~ 1521:**

- .1 Front Lot Line shall mean the lot line nearest and parallel to Intermodal Drive.
- .2 Crisis Care Facility shall mean a place where short-term temporary accommodation is provided for persons in emergency situations.

## 12.1522 Exception 1522

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### 12.1522.1 The lands shall only be used for the following purposes:

- .1 a motor vehicle repair shop;
- .2 purposes accessory to a motor vehicle repair shop;
- .3 the purposes permitted in an A zone.

### 12.1522.2 The lands shall be subject to the following requirements and restrictions:

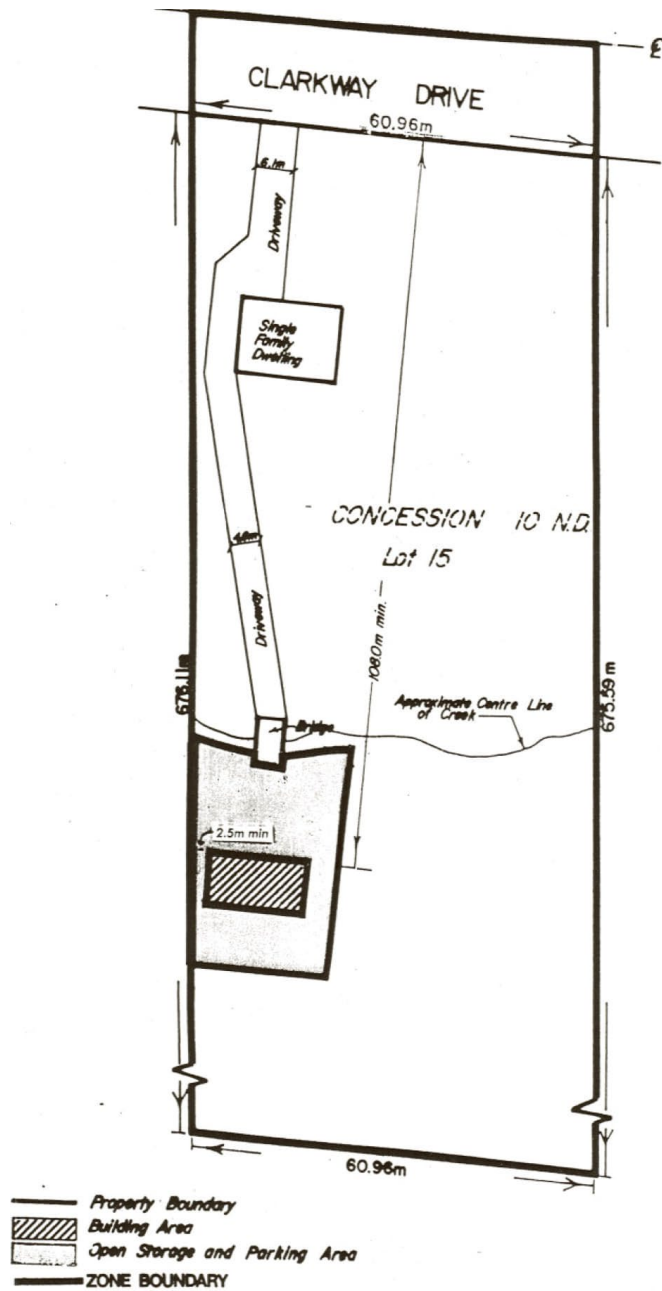
- .1 a motor vehicle repair shop shall be located only within the area shown as Building Area on **SCHEDULE C** **Figure 1** - ~~SECTION-EXCEPTION~~ 1522;
- .2 the Gross Floor Area of the motor vehicle repair shop shall not exceed 117 square metres;
- .3 outdoor storage and parking of vehicles shall be permitted only in the area designated as OPEN STORAGE AND PARKING AREA on **Figure 1** ~~SCHEDULE C- EXCEPTION SECTION~~ 1522, provided that outside storage shall be permitted only to the rear of the Building Area;
- .4 access to the motor vehicle repair shop shall be permitted only by the DRIVEWAY as shown on **Figure 1** ~~SCHEDULE C - EXCEPTION SECTION~~ 1522; and
- .5 the motor vehicle repair shop shall no longer be permitted as a use after March 31, 1986.

**Figure 1**

Exception Zones

## Exception Zones

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## 12.1525 Exception 1525

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### **12.1525.1 The lands shall only be used for the following purposes:**

- .1 church, church hall, Sunday school, private school;
- .2 retail establishment with no outside storage;
- .3 a service shop;
- .4 an office, including the office of a physician, dentist or drugless practitioner;
- .5 a dining room restaurant with no adult entertainment;
- .6 a custom workshop;
- .7 a bowling alley;
- .8 a service station, and
- .9 purposes accessory to the other permitted purposes.

### **12.1525.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no vehicular access or egress shall be permitted to or from Highway Number 50.

## 12.1526 Exception 1526

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### **12.1526.1 The lands shall only be used for the following purposes:**

- .1 one dwelling unit;
- .2 a real estate office; and
- .3 an insurance office.

### **12.1526.2 The lands shall be subject to the following requirements and restrictions:**

- .1 the Total Gross Commercial Floor Area used for office purposes shall not exceed 235 square metres;
- .2 the Total Gross Commercial Floor Area used for offices shall not exceed the gross residential floor area of a dwelling unit located on the same lot; and
- .3 parking spaces for the office uses shall be provided in accordance with **Section 4** of this by-law.

## 12.1527 Exception 1527

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### 12.1527.1 The lands shall be subject to the following requirements and restrictions:

- .1 shall only be used for the following purposes, subject to the requirements and restrictions relating to the **HC2-GC** zone and all the general provisions of this by-law:
  - .a a gas bar,
  - .b a service station, and
  - .c a motor vehicle washing establishment.

## 12.1528 Exception 1528

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### 12.1528.1 The lands shall only be used for the following purposes:

- .1 the warehousing and storage of goods and products and materials within an enclosed building;
- .2 the manufacture and assembly of the following products:
  - .a clothing and finished textile or fabric products;
  - .b printing and bookbinding and lithographing;
  - .c die casting involving the use plastics and light metals, including aluminum and zinc;
  - .d light manufacturing of tubing, pipes, tools, and instruments, electrical components, building hardware, telephone, television, radio and electronic components, drugs and pharmaceutical products, cosmetics and associated products;
- .3 beverage and food processing plants excluding any obnoxious uses such as a slaughter house, a fowl killing establishment, blood boiling, bone boiling, animal or fish glue or fertilizer factory, tannery, storage of hides, rags and bones;
- .4 shops for the repair or manufacturing of small goods and wares;
- .5 exhibition and conference halls;
- .6 radio, television broadcasting and transmission facilities;
- .7 research establishment;
- .8 business, professional and administrative offices connected with another permitted purpose;
- .9 any use by a public body of the same general character as the other permitted purposes;
- .10 purposes accessory to the other permitted purposes, including a retail outlet operated in connection with an industrial use located on the site, provided that the total gross floor area of the retail outlet is not more than fifteen percent (15%) of the total gross floor area of the industrial use;
- .11 one dwelling unit, as part of an industrial building, only for the use of a caretaker or night watchman employed in connection therewith.

### 12.1528.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,

#### Exception Zones

- .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
- .e 24 metres for a building greater than 15 metres in height above grade.
- .2 Minimum Lot Area shall be 2,000 square metres;
- .3 Minimum Side Yard Width shall be:
  - .a for a lot width of 50 metres or less: 8 metres,
  - .b for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
  - .c for a lot with a width of 100 metres or more: 14 metres.
- .4 the Maximum Coverage of buildings and structures shall not exceed fifty percent (50%) of the lot area;
- .5 the Minimum Rear Yard Depth shall be 20 metres;
- .6 Minimum Landscaped Open Space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
  - .a 50 percent of the required front yard, and
  - .b 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
- .7 Minimum Landscaped Open Space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot:
    - .i 50 percent of the required front yard;
    - .ii 50 percent of the required exterior side yard, and
    - .iii none required for an interior side yard;
  - .b for an interior lot;
    - .i 50 percent of the required front yard, and
    - .ii 50 percent- of one required side yard and none for the other side yard;
- .8 truck loading facilities are permitted in the front and side yard provided that the landscaping requirements of **sections exceptions 1528.2(6) and 1528.2(7)** are fulfilled, and
- .9 access to a truck loading facility may be from the rear yard, provided that the truck loading facility is located entirely within the building and that loading and unloading occur only within the building;
- .10 at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking space shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;

#### Exception Zones

- .11 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .12 outside storage of goods, material and equipment shall not be permitted;
- .13** a Landscaped Buffer Area of minimum of 12 metres in width shall be provided and maintained along Airport Road, as shown on **SCHEDULE C Figure 1-SECTION EXCEPTION 1528.**

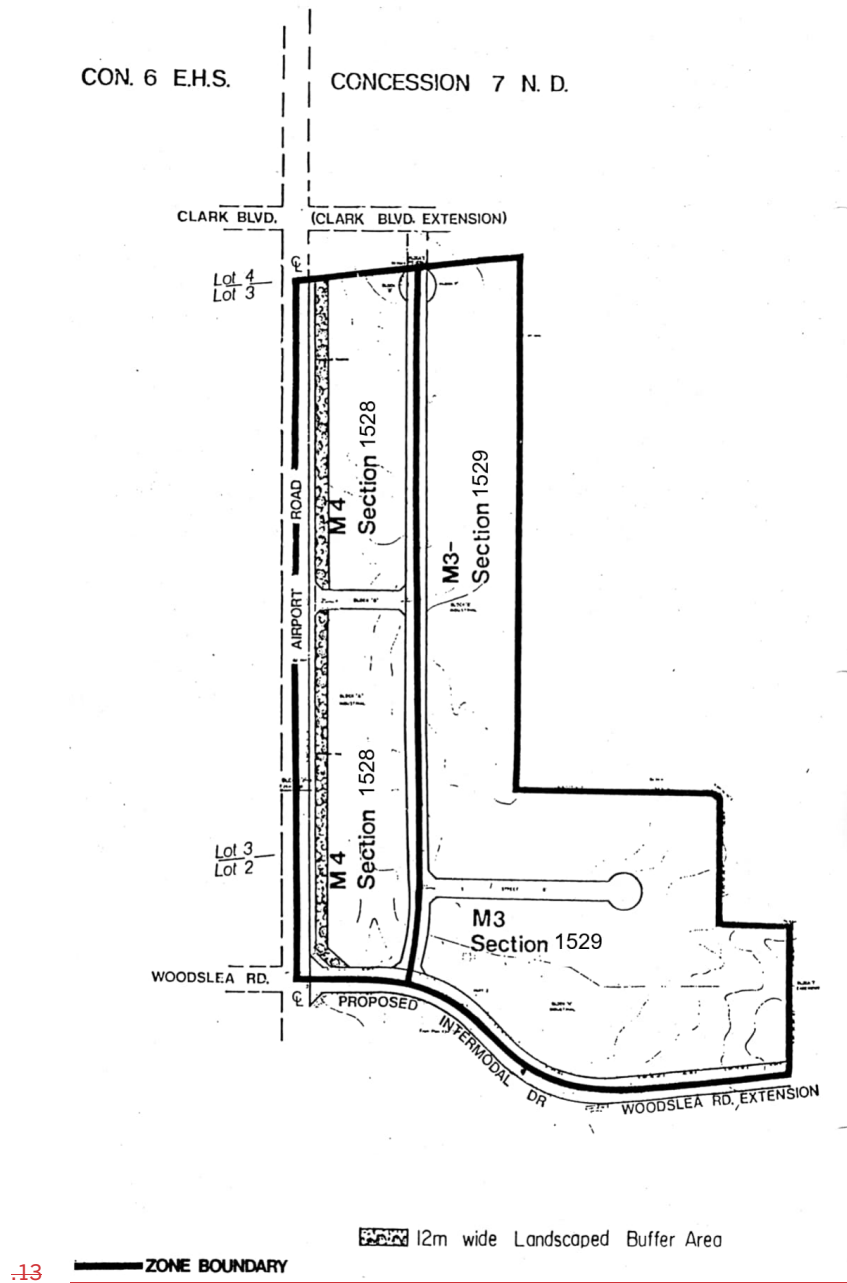
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**Figure 1**

Exception Zones

## Exception Zones

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## 12.1529 Exception 1529

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### 12.1529.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted by **section-exception 1528.1**;
- .2 the manufacturing, assembly, storage and distribution of semi-finished and finished products, and a truck terminal;
- .3 dry cleaning plants, laundry and dyeing establishments, excluding any dangerous uses;
- .4 dairy products plants and bakeries;
- .5 a builder's supply yard or a contractor's yard including a repair and assembly shop, but excluding any scrap metal storage or salvage yards;
- .6 any purpose accessory to the other permitted purposes.
- .7 a personal service shop.

### 12.1529.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 an area of at least 50 percent (50%) of the required front yard shall be landscaped open space free of parking, driveway and paved area.
- .3 the Minimum Lot Area shall be 2,000 square metres;
- .4 Minimum Rear Yard Width shall be 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no rear yard shall be required;
- .5 minimum side yard width shall be 8 metres, except where the side lot line abuts a railway right-of-way or easement, in which case no side yard shall be required;
  - .a an area of at least 50 percent (50%) of the required side yard shall be landscaped open space, free of parking, driveway and pavement;
- .6 truck loading facilities may be located in the front, side or rear yard, provided the landscape requirements of **sections-exceptions 12.1529.2(2) and 12.1529.2(5)(a)** are fulfilled;

- .7 no hydro-electric transformer shall be located within the front yard or closer to the street than any part of the front wall of the building;
- .8 outside storage of goods, material and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area shall be enclosed by a fence or wall not less than 2.0 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement;
  - .c in addition to requirements of [section-exception 1529.2\(8\)\(b\)](#), where the storage area abuts a street, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except where the storage area abuts a railway right-of-way or easement, in which case no landscaping shall be required;
- .9 the provisions of [section-exception 12.1529.2\(8\)](#) shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
  - .a the total area so used does not exceed five percent (5%) of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;
- .10 all manufacturing and processing operations other than:
  - .a the moving of goods and materials in and out of buildings and structures;
  - .b associated minor preparatory and finishing work, and
  - .c associated assembly of components too large to be assembled within the buildings and structures,

shall be carried out within buildings and structures;
- .11 no building shall have more than four storeys for a manufacturing use or five storeys for an office use, exclusive of mechanical or elevator areas;
- .12 for the purposes permitted by [section-exception 12.1529.1\(1\)](#), the parking requirements set out in [section-exception 12.1528.2\(10\)](#) shall apply;
- .13 for all other uses, as permitted by [sections-exception 12.1529.1\(2\) to 12.1529.1\(6\)](#), at least one parking space for each 70 square metres of gross floor area shall be provided on the same lot, and such parking spaces shall be used only for the vehicles of employees and customers, and for vehicles required in connection with the main use of the lot.

- .14 the Maximum Gross Floor Area of devoted to a personal service shop shall be 145 square metres and parking for a personal service shop shall be provided at a ratio of 1 space per 23 square metres of gross floor area devoted to a personal service shop use.

#### 12.1532 Exception 1532

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##### **12.1532.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in a **RE2 RE zone**

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##### **12.1532.2 The lands shall be subject to the following requirements and restrictions:**

- .1 No buildings or structures shall be permitted within 7.6 metres of the rear lot line.

## 12.1533 Exception 1533

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### 12.1533.1 The lands shall only be used for the following purposes:

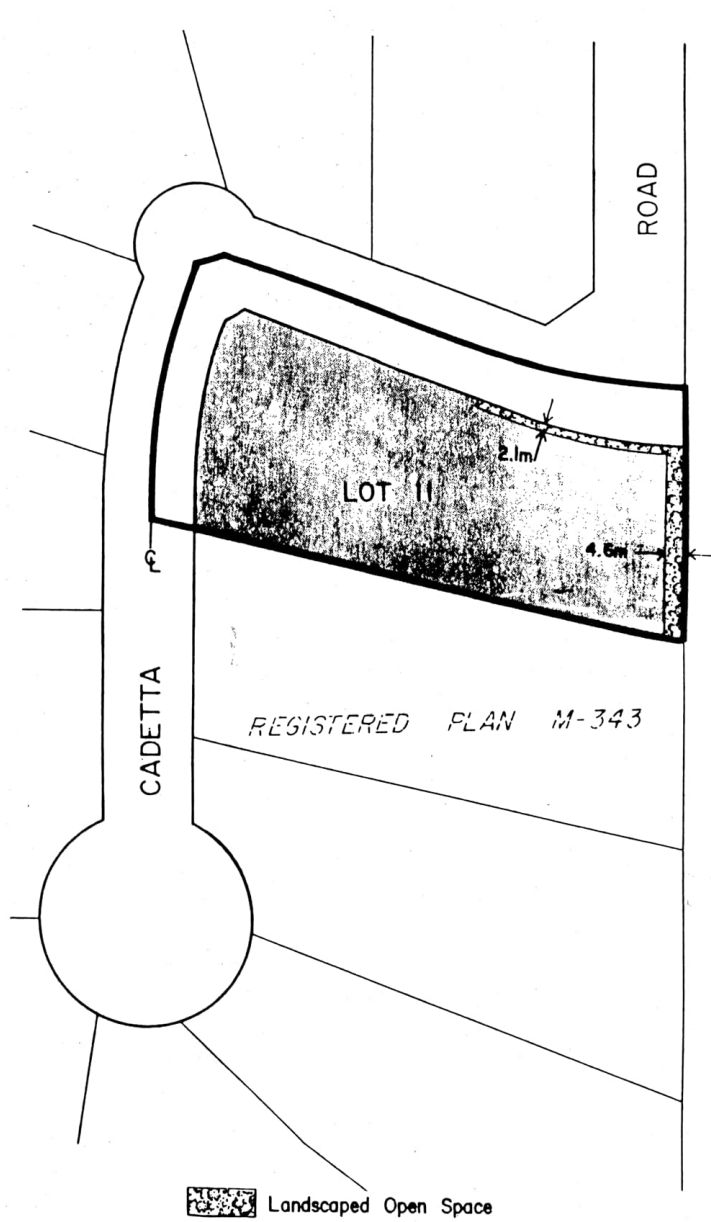
- .1 shall only be used for the purposes permitted in an **M2A GE - SECTION-EXCEPTION 1511** zone by section **12.1511.1**.

### 12.1533.2 The lands shall be subject to the following requirements and restrictions:

- .1 Landscaped open space with a minimum width of 2.1 metres abutting the flankage lot line, and with a minimum width of 4.6 metres abutting the rear lot line, shall be provided and maintained in the area shown as Landscaped Open Space on **SCHEDULE C Figure 1 - EXCEPTION SECTION 1533**.
- .2 A solid opaque fence with a minimum height of 2.4 metres shall be erected and maintained along the flankage lot line within the area shown as Landscaped Open Space on **Figure 1 SCHEDULE C - EXCEPTION SECTION 1533**.

**Figure 1**

Exception Zones



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#### 12.1534 Exception 1534

##### 12.1534.1 The lands shall only be used for the following purposes:

- .1 purposes permitted in a **REH RE zone**;
- .2 a landscaping business as a home occupation;
- .3 a tree farm.

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##### 12.1534.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum lot area: 5.6 hectares
- .2 Minimum lot width: 105 metres
- .3 all buildings and structures shall be located within the area shown as BUILDING AREA on **SCHEDULE C Figure 1 - SECTION EXCEPTION 1534.**

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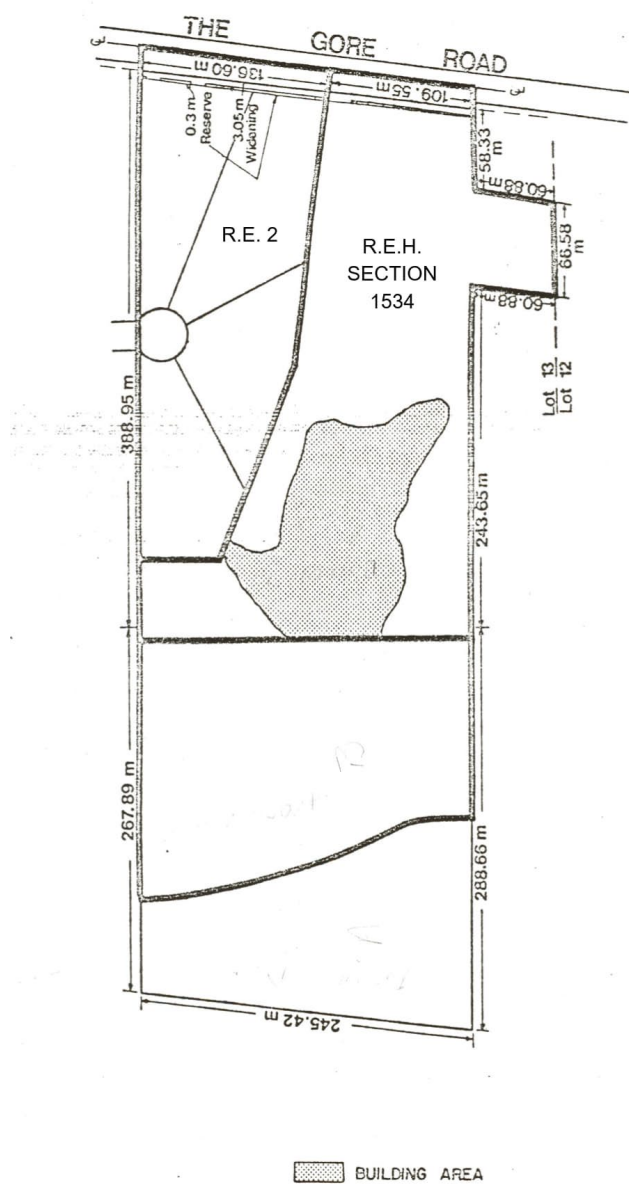
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##### 12.1534.3 for the purposes of ~~section exception~~ 1534:

- .1 Tree Farm shall mean an area of land used for the growth and storage of trees, vegetation and landscaping materials.
- .2 Landscaping Business As A Home Occupation shall mean the use of land for the purpose of operating a landscaping business from a single detached dwelling, and for the storage of equipment used in connection therewith, but shall not include the retail sale of plants, gardening supplies, and related goods and materials.

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**Figure 1**



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## 12.1536 Exception 1536

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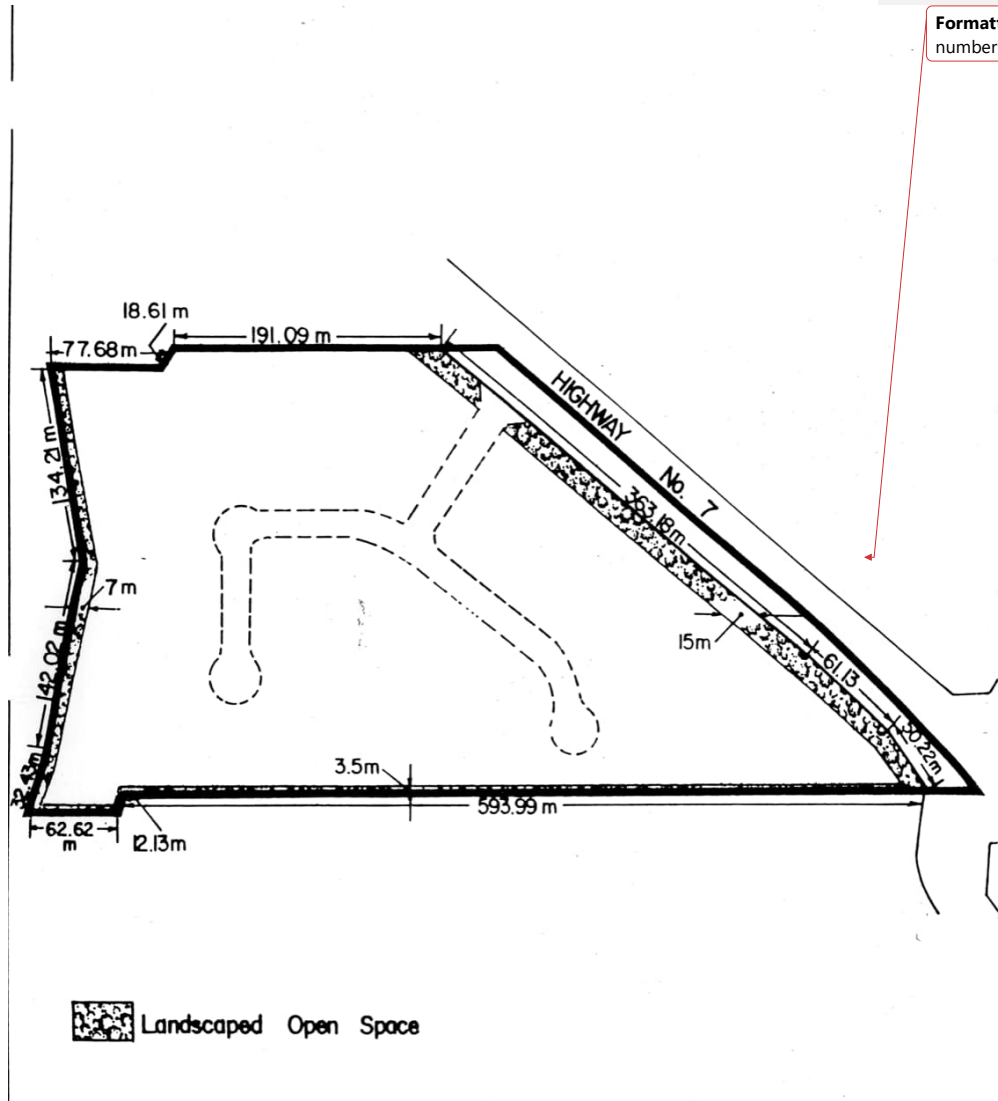
### 12.1536.1 The lands shall only be used for the following purposes:

- .1 Industrial
  - .a dry industrial uses;
  - .b a printing establishment; and,
  - .c a parking lot
- .2 Non-Industrial
  - .a a radio or television broadcasting and transmission establishment;
  - .b a furniture and appliance store;
  - .c a recreation facility or structure, excluding water oriented or water based activities; and,
  - .d an office use, excluding offices uses for: medical, health care practitioners, dental practitioners, and administrative offices of school boards and governments, shall be permitted to a maximum gross floor area of 575.3 square metres, for three abutting units of which the closest wall shall not be more than 10 metres from Brewster Road.
- .3 Accessory
  - .a purpose accessory to the other permitted purposes.

### 12.1536.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 0.8 hectares
- .2 Minimum Lot Width: 35 metres
- .3 Maximum Lot Coverage by all buildings and structures: 35% of the lot area
- .4 Maximum Building Height: 10 metres
- .5 Landscaped Open Space shall be provided and maintained in the areas shown as Landscaped Open Space on **SCHEDULE C Figure 1 – SECTION EXCEPTION 1536**
- .6 no outside storage or display of goods, materials or machinery shall be permitted
- .7** no loading spaces or areas may be located in yards abutting Highway 7

**Figure 1**



## 12.1537 Exception 1537

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### 12.1537.1 The lands shall only be used for the following purposes:

#### .1 Commercial

- .a a dining room restaurant, a convenience restaurant, a take-out restaurant;
- .b a service station;
- .c a motor vehicle washing establishment
- .d only in conjunction with a non-commercial operation permitted in section 1537.1(b), a corporate office building;
- .e only in conjunction with an industrial mall, an office use, but excluding a real estate office or an office for medical, health care, or dental practitioners, or for accredited or licensed professionals such as accountants, architects, engineers, financial advisors, insurance agents/brokers, landscape architects, lawyers, real estate agents/ brokers/appraisers, and urban planners;
- .f only in conjunction with an industrial mall;
  - .i a retail establishment, having no outside storage and excluding a supermarket;
  - .ii a service shop;
  - .iii a health centre;
  - .iv a custom workshop;
  - .v a day nursery;
  - .vi a dry cleaning and laundry establishment
  - .vii a religious institution, including an associated place of public assembly;
  - .viii a crisis care facility;
  - .ix a bank, trust company or financial institution;
  - .x a banquet facility; and
  - .xi a commercial, technical or recreational school.

#### .2 Non-Commercial

- .a the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use;
- .b a warehouse;

- .c a community club;
- .d a radio or television broadcasting and transmission establishment;
- .e an animal hospital;
- .f a recreation facility or structure; and
- .g a printing establishment

.3 Accessory

- .a an ancillary educational purpose;
- .b an ancillary office use operated in connection with a particular purpose permitted by **section-exception 12.1537.1(2)**, provided that the total gross floor area of the office is not more than 50 percent of the total gross floor area of the particular industrial use;
- .c an ancillary retail outlet operated in connection with a particular use permitted by **section-exception 12.1537.1(2)**, provided that the total gross floor area of the retail outlet is not more than 15 percent of the total gross floor area of the particular use; and,
- .d purposes accessory to the other permitted uses.

**12.1537.2 The lands shall be subject to the following requirements and restrictions:**

- .1 no more than two restaurant uses shall be permitted;
- .2 Maximum Gross Commercial Floor Area devoted to the restaurant uses permitted in **section-exception 12.1537.1(1)(a)** shall not exceed 511.0 square metres in total, and with no individual restaurant exceeding 279.0 square metres of gross leasable floor area;
- .3 Maximum Gross Commercial Floor Area devoted to the office uses permitted in **section-exception 12.1537.1(1)(e)** shall be restricted to 5% of the gross floor area of the entire building, to a maximum of 465 square metres;
- .4 Maximum Gross Commercial Floor Area devoted to the commercial and institutional uses permitted in **section-exception 1537.1(1)(f)** shall be restricted to 5% of the gross floor area of the entire building to a maximum of 465 square metres;
- .5 Landscaped Open Space having minimum widths of 9.0 metres, 4.0 metres, and 3.0 metres shall be provided and maintained along Airport Road, Intermodal Drive, and Devon Road, respectfully, except at approved driveway locations;
- .6 the Minimum Building Setbacks to Airport Road, Intermodal Drive, and Devon Road shall be 15.0 metres, 15.0 metres , and 6.0 metres respectfully;
- .7 an adult entertainment parlour, an adult video store or adult book store shall not be permitted;
- .8 all garbage and refuse storage, other than restaurant refuse storage, but including any containers for recyclable materials shall be enclosed;

- .9 for those non-commercial uses permitted in ~~Section~~ ~~Exception~~ 12.1537.1(2) and (3), the requirements and restrictions as set out in a ~~M4PE~~ zone.

## 12.1538 Exception 1538

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### 12.1538.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **M4-PE** Zone of this by-law.

### 12.1538.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 Minimum Lot Area shall be 2,000 square metres;
- .3 Minimum Side Yard Width shall be:
  - .a for a lot with a width of 50 metres or less: 8 metres,
  - .b for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
  - .c for a lot with a width of 100 metres or more: 14 metres.
- .4 the Maximum Coverage of buildings and structures shall not exceed fifty percent (50%) of the lot area;
- .5 the Minimum Rear Yard Depth shall be 20 metres;
- .6 Minimum Landscaped Open Space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
  - .a 50 percent of the required front yard, and
  - .b 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
- .7 Minimum Landscaped Open Space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot:
    - .i 50 percent of the required front yard;
    - .ii 50 percent of the required exterior side yard, and

- .iii none required for an interior side yard;
  - .b for an interior lot:
    - .i 50 percent of the required front yard, and
    - .ii 50 percent of the required side yard and none for the other side yards;
- .8 truck loading facilities are permitted in the front and side yard provided that the landscaping requirements of sections-exceptions 1538.2(6) and 1538.2(7) are fulfilled, and
- .9 access to a truck loading facility may be from the rear yard, provided that the truck loading facility is located entirely within the building and that loading and unloading occur only within the building;
- .10 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .11 outside storage of goods, material and equipment shall not be permitted;
- .12 a Landscaped Buffer Area, a minimum of 12 metres in width, shall be provided and maintained along the rear lot line where it abuts Airport Road or a 0.3 metre reserve abutting Airport Road.

## 12.1539 Exception 1539

### 12.1539.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **M3-GE Zone** of this by-law, but excluding any scrap metal storage or salvage yards.

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### 12.1539.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 an area of at least 50 percent (50%) of the required front yard shall be landscaped open space free of parking, driveway and paved area;
- .3 the Minimum Lot Area shall be 2,000 square metres;
- .4 Minimum Rear Yard Width shall be 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no rear yard shall be required;
- .5 minimum side yard width shall be 8 metres, except where the side lot line abuts a railway right-of-way or easement, in which case no side yard shall be required;
- .6 an area of at least 50 percent (50%) of the required side yard shall be landscaped open space, free of parking, driveway and pavement;
- .7 truck loading facilities may be located in the front, side or rear yard, provided the landscape requirements of **section exception 1539.2(2) and 1539.2(5)(b)** are fulfilled
- .8 no hydro-electric transformer shall be located within the front yard or closer to the street than any part of the front wall of the building;
- .9 outside storage of goods, material and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area shall be enclosed by a fence or wall not less than 2.0 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area

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## Exception Zones

from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement;

- .c in addition to requirements of **section-exception 1539.2(8)(b)**, where the storage area abuts a street, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except where the storage area abuts a railway right-of-way or easement, in which case no landscaping shall be required;

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- .10 the provisions of **section-exception 12.1539.2(9)** shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
  - .a the total area so used does not exceed five percent (5%) of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;
- .11 all manufacturing and processing operations other than:
  - .a the moving of goods and materials in and out of buildings and structures;
  - .b associated minor preparatory and finishing work, and
  - .c associated assembly of components too large to be assembled within the buildings and structures,shall be carried out within buildings and structures;
- .12 no building shall have more than four storeys for a manufacturing use or five storeys for an office use, exclusive of mechanical or elevator areas;

## 12.1543 Exception 1543

### 12.1543.1 The lands shall only be used for the following purposes:

- .1 metal recycling plant;
- .2 metal fabrication plant, and
- .3 purposes accessory to the other permitted purposes.

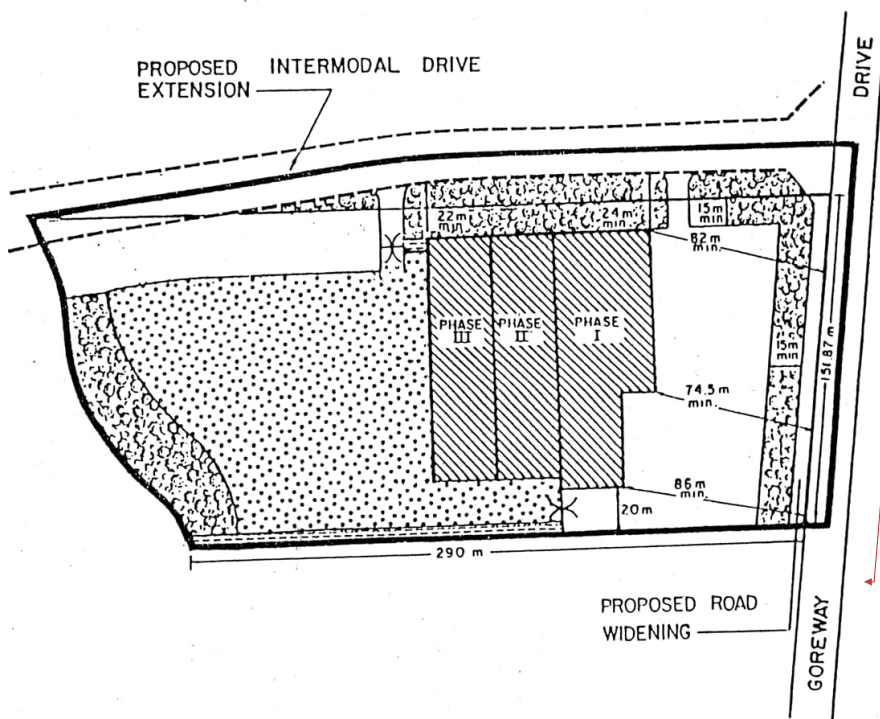
### 12.1543.2 The lands shall be subject to the following requirements and restrictions:

- .1 the minimum front, rear and side yard depths and widths shall be as shown on [Schedule Figure 1 C-Section Exception 5143](#);
- .2 all buildings shall be located within the area shown as Building Area on [Figure 1 Schedule C - Exception Section 5143](#);
- .3 outside storage area shall be located within the area shown as Outside Storage Area on [Figure 1 Schedule C - Exception Section 1543](#);
- .4 Building Area shown as Phase II and Phase III may be used for outside storage purposes until the Area is occupied by a building;
- .5 no outside storage shall be permitted until:
  - .a a building is erected within the location shown as Phase I on [Figure 1 Schedule C - Exception Section 1543](#) to create a visual screen, and
  - .b a visual screen encloses the outside storage area, which visual screen shall comprise a wall on a landscaped earth berm and a wall respectively located within the areas shown as Earth Berm and Wall Visual Screen and Wall Visual Screen on [Figure 1 Schedule C - Exception Section 1543](#);
- .6 the visual screen shall be erected and maintained with a minimum height of 6.1 metres, except for permitted gate openings, where the minimum height of the gate shall be 3 metres;
- .7 gate openings shall be located as shown on [Figure 1 Schedule C - Exception Section 1543](#);
- .8 outside storage shall not exceed a height of 6.1 metres;
- .9 all buildings shall have a minimum height of 7.5 metres and shall not have more than 2 storeys;
- .10 the Gross Industrial Floor Area of all buildings shall not exceed 11,150 square metres;
- .11 Landscaped Open Space shall be provided and maintained in the locations as shown on [Figure 1 Schedule C - Exception Section 1543](#), and
- .12 truck parking and automobile parking shall be permitted in the required front yard, but no motor vehicle shall be permitted to occupy a required yard area for a continuous period exceeding 24 hours.








**Figure 1**

Exception Zones

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## LEGEND

- |   |                       |   |                                   |
|---|-----------------------|---|-----------------------------------|
|  | BUILDING AREA         |  | EARTH BERM AND WALL VISUAL SCREEN |
|  | LANDSCAPED OPEN SPACE |  | WALL VISUAL SCREEN                |
|  | OUTSIDE STORAGE AREA  |   |                                   |
|  | GATE OPENING          |   |                                   |
|  | ZONE BOUNDARY         |   |                                   |

## 12.1545 Exception 1545

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### **12.1545.1 The lands shall only be used for the following purposes:**

- .1 a single detached dwelling, and
- .2 a group home, and
- .3 purposes accessory to the other permitted purposes.

### **12.1545.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Lot Area: 0.4 hectares

## 12.1546 Exception 1546

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### **12.1546.1 The lands shall only be used for the following purposes:**

- .1 the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal use;
- .2 a contractor's yard involving the storage of goods and materials in the open;
- .3 an office accessory to the permitted industrial uses;
- .4 a warehouse;
- .5 a parking lot; and,
- .6 purposes accessory to the other permitted purposes.

### **12.1546.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Maximum Gross Floor Area of all buildings and structures: 5,250 square metres;
- .2 Maximum Building Height: 2 storeys;
- .3 Minimum Rear Yard Depth: 14 metres;
- .4 Minimum Landscaped Open Space requirements:
  - .a 5 metres abutting the front lot line, except at approved access points
  - .b 7.5 metres abutting the rear lot line
  - .c 3.0 metres abutting the interior side lot lines
- .5 maximum area for outdoor storage: 3,500 square metres

## 12.1547 Exception 1547

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### 12.1547.1 The lands shall only be used for the following purposes:

- .1 a religious institutions;
- .2 a parsonage; and,
- .3 purposes accessory to the other permitted purposes.

### 12.1547.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Gross Floor Area of all buildings and structures shall not exceed 2090.0 square metres;
- .2 the Maximum Height of all buildings shall not exceed 11.0 metres;
- .3 Minimum Front Yard Depth: 25.0 metres;
- .4 Minimum Side Yard Width: 15.0 metres; and
- .5 Landscaped Open Space, a minimum of 6.0 metres in width, shall be provided and maintained along the front lot line except at approved access point(s).

### 12.1547.3 for the purposes of ~~section~~ exception 1547:

- .1 Gross Floor Area means the aggregate of the areas of each storey, at, above, or below established grade, measured from the exterior of the outside walls, but excluding any parts of the building used for mechanical equipment, stairwells, elevators, or any part of the building below established grade used for storage purposes.
- .2 Parsonage shall mean a dwelling provided for a clergyman by a religious institution.

## 12.1548 Exception 1548

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### 12.1548.1 The lands shall only be used for the following purposes:

- .1 the warehousing and storage of goods and products and materials within an enclosed building;
- .2 the manufacture and assembly of the following products:
  - .a clothing and finished textile or fabric products;
  - .b printing and bookbinding and lithographing;
  - .c die castings involving the use of plastics and light metals including aluminum and zinc;
  - .d light manufacturing of tubing, pipes, tools, instruments, electrical components, building hardware; telephone, television, radio and electronic components, drugs and pharmaceutical products, cosmetics and associated products;
- .3 shops for the repair or manufacturing of small goods and wares;
- .4 business, professional and administrative offices connected with another permitted purpose;
- .5 exhibition and conference halls;
- .6 radio, television broadcasting and transmission facilities;
- .7 one dwelling unit, as part of an industrial building, only for the use of a caretaker or night watchman employed in connection therewith;
- .8 any use by a public body of the same general character as the other permitted purposes;
- .9 purposes accessory to the other permitted purposes, including a retail outlet operated in connection with an industrial use located on the site, provided that the total gross floor area of the retail outlet is not more than fifteen percent (15%) of the total gross floor area of the industrial use.

### 12.1548.2 The lands shall be subject to the following requirements and restrictions:

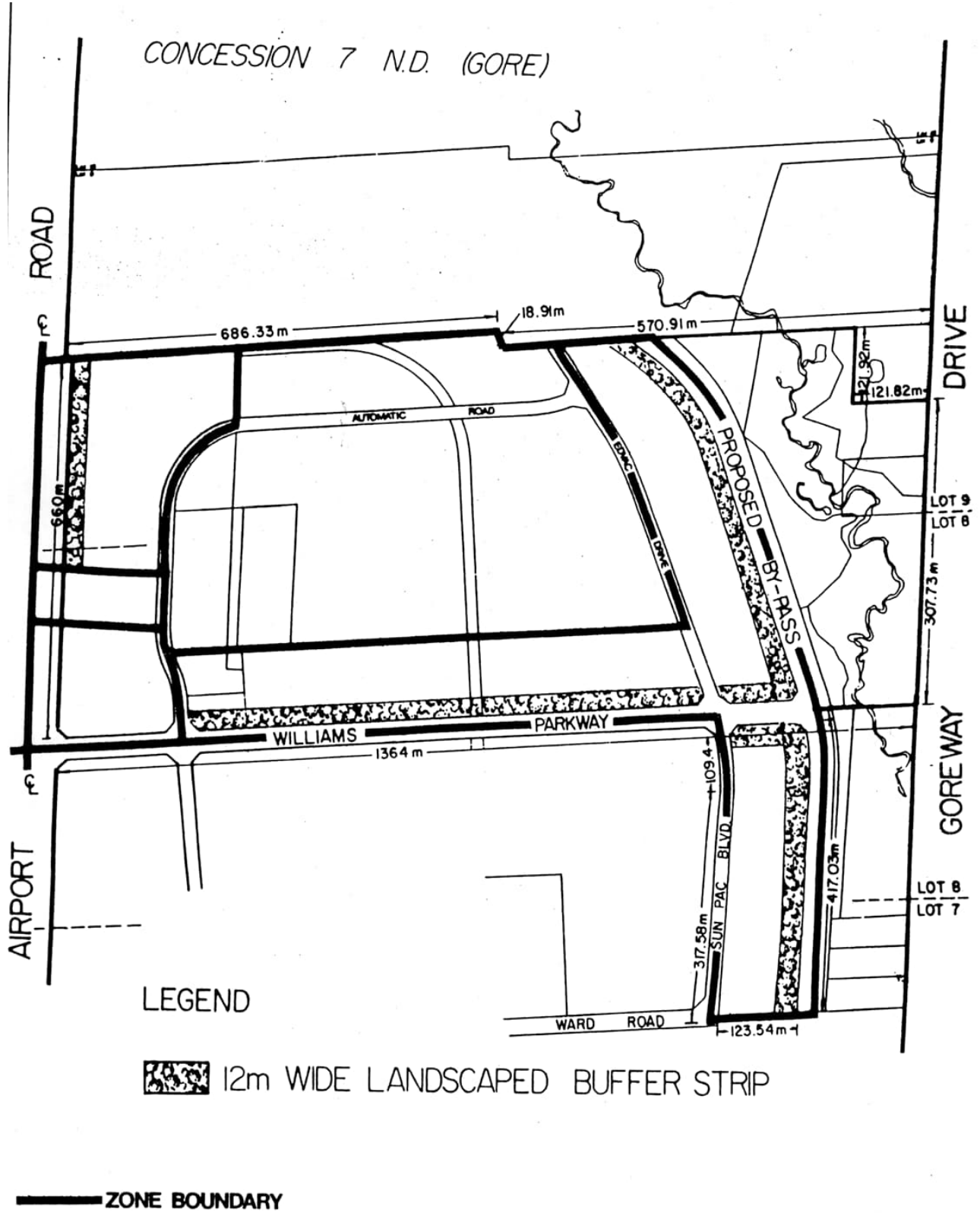
- .1 Minimum Front Yard Depth: 20 metres
- .2 Minimum Lot Area: 2,000 square metres
- .3 Minimum Side Yard on either side of the building constructed
  - .a for a lot width of 50 metres or less: 8 metres,
  - .b for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
  - .c for a lot width of 100 metres or more: 14 metres
- .4 Maximum Coverage of buildings and structures: 50 percent of the lot area

- .5 Minimum Rear Yard Depth: 20 metres
- .6 the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped as follows:
  - .a the minimum landscaped open space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
    - .i 50 percent of the required front yard, and
    - .ii 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
  - .b the minimum landscaped open space for a lot having an area of 1 hectare or less shall be provided as follows:
    - .i for a corner lot:
      - 1. 50 percent of the required front yard;
      - 2. 50 percent of the required exterior side yard, and
      - 3. none required for an interior side yard;
    - .ii for an interior lot:
      - 1. 50 percent of the required front yard, and
      - 2. 50 percent of one required side yard and none for the other side yard;
- .7 a Landscaped Buffer Strip of a minimum of 12 metres in width shall be provided and maintained along Airport Road, Williams Parkway and the proposed Arterial Road, as shown on **Schedule CFigure 1 - SECTION EXCEPTION 1548.**
- .8 no outdoor truck loading facilities are permitted in the front yard;
  - .a if the building depth is less than 60 metres, no outdoor truck loading facilities are permitted within the front half of the building depth; and
  - .b if the building depth is greater than 60 metres, no outdoor truck loading facilities are permitted within the first 30 metres of the building depth;
- .9 at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking space shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;
- .10 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .11 outside storage of goods, material and equipment shall not be permitted, and

**12.1548.3** for the purposes of ~~section~~exception 1548:

- .1 shall also be subject to the requirements and restrictions related to the M4 zone, and all the general provisions of this by-law, which are not in conflict with those set out in ~~section~~exception 12.1548.2.

**Figure 1**



## 12.1549 Exception 1549

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### 12.1549.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the following purposes permitted by **M4 PE** Zone of this by-law.

### 12.1549.2 The lands shall be subject to the following requirements and restrictions:

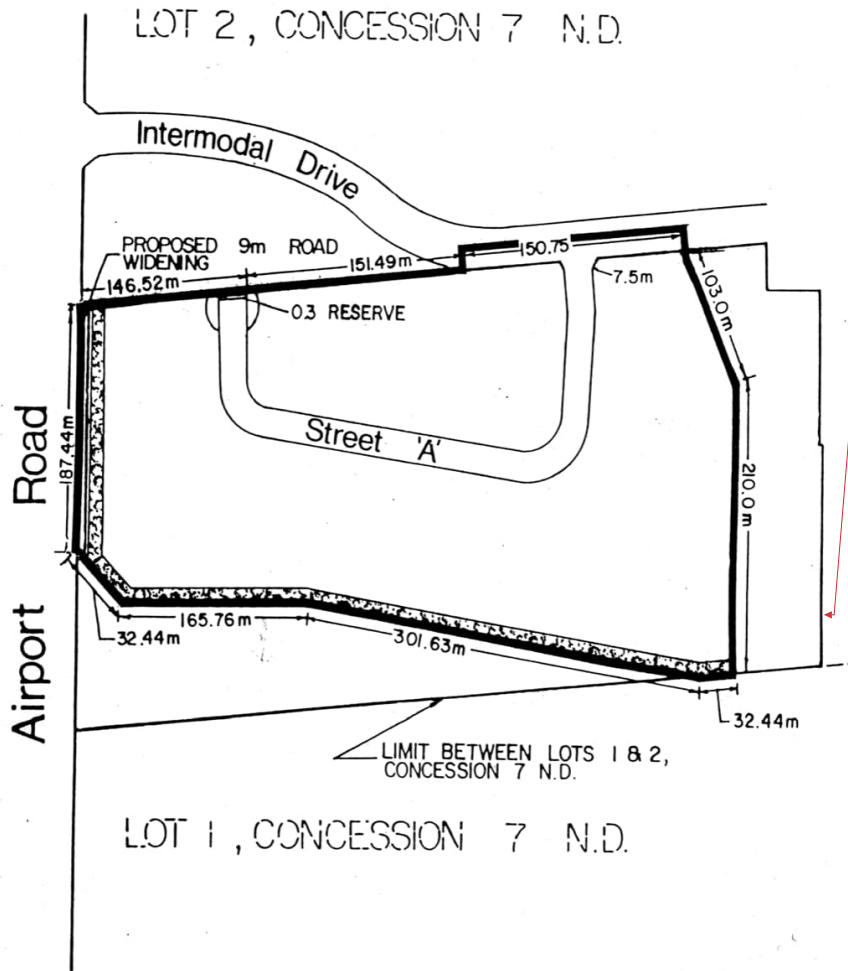
- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 Minimum Lot Area shall be 2,000 square metres;
- .3 Minimum Side Yard Width shall be:
  - .a for a lot with a width of 50 metres or less: 8 metres,
  - .b for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
  - .c for a lot width of 100 metres or more: 14 metres
- .4 the Maximum Coverage of buildings and structures shall not exceed fifty percent (50%) of the lot area;
- .5 the Minimum Rear Yard Depth shall be 20 metres;
- .6 the minimum landscaped open space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
  - .i 50 percent of the required front yard, and
  - .ii 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
- .7 the minimum landscaped open space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot:
    - .i 50 percent of the required front yard;
    - .ii 50 percent of the required exterior side yard, and


- .iii none required for an interior side yard;
- .b for an interior lot:
  - .i 50 percent of the required front yard, and
  - .ii 50 percent of one required side yard and none for the other side yard;
- .8 truck loading facilities are permitted in the front and side yard provided that the landscaping requirements of ~~sections exceptions~~ 12.1549.2(6) and 12.1549.2(7) are fulfilled, and
- .9 access to a truck loading facility may be from the rear yard, provided that the truck loading facility is located entirely within the building and that loading and unloading occur only within the building;
- .10 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .11 outside storage of goods, material and equipment shall not be permitted, and
- .12 a landscaped buffer area of a minimum of 12 metres in width shall be provided and maintained along Airport Road and Highway Number 407 right-of-way, as shown on ~~SCHEDULE C~~Figure 1 - ~~SECTION EXCEPTION 1549~~.

**Figure 1**

Exception Zones

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 12m Wide Landscaped Buffer Area

## 12.1550 Exception 1550

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### 12.1550.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **M3-GE** Zone of this by-law, but excluding any scrap metal storage or salvage yards.

### 12.1550.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building 8 metres or less in height above grade,
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade,
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade,
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 an area of at least 50 percent (50%) of the required front yard shall be landscaped open space free of parking, driveway and paved area;
- .3 the Minimum Lot Area shall be 2,000 square metres;
- .4 Minimum Rear Yard Width shall be 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no rear yard shall be required;
  - .a minimum side yard width shall be 8 metres, except where the side lot line abuts a railway right-of-way or easement, in which case no side yard shall be required;
  - .b an area of at least 50 percent (50%) of the required side yard shall be landscaped open space, free of parking, driveway and pavement;
- .5 truck loading facilities may be located in the front, side or rear yard, provided the landscape requirements of ~~sections exceptions~~ **12.1550.2(2) and 12.550.2(4)(b)** are fulfilled;
- .6 no hydro-electric transformer shall be located within the front yard or closer to the street than any part of the front wall of the building;
- .7 outside storage of goods, material and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area shall be enclosed by a fence or wall not less than 2.0 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area

from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement;

- .c in addition to requirements of [section-exception 1550.2\(8\)\(b\)](#), where the storage area abuts a street, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except where the storage area abuts a railway right-of-way or easement, in which case no landscaping shall be required;

.8 the provisions of [section-exception 12.1550.2\(7\)](#) shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:

- .a the total area so used does not exceed five percent (5%) of the lot area, and
- .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;

.9 all manufacturing and processing operations other than:

- .a the moving of goods and materials in and out of buildings and structures;
- .b associated minor preparatory and finishing work, and
- .c associated assembly of components too large to be assembled within the buildings and structures,

shall be carried out within buildings and structures;

.10 no building shall have more than four storeys for a manufacturing use or five storeys for an office use, exclusive of mechanical or elevator areas.

## 12.1552 Exception 1552

### 12.1552.1 The lands shall only be used for the following purposes:

- .1 purposes permitted by an **M1 UT, OCPE zone**;
- .2 offices;
- .3 bank, trust company or finance company, and
- .4 purposes accessory to the other permitted purposes.

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### 12.1552.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 9 metres
- .2 Minimum Lot Width: 60 metres
- .3 Minimum Lot Area: 2 hectares
- .4 Minimum Street Line Setback:
  - .a from Airport Road: 46 metres
  - .b from Highway No. 407 right-of-way: 46 metres
  - .c from any other street: 15 metres
- .5 Maximum Lot Coverage by all buildings and structures: 25 percent of the lot area
- .6 Maximum Building Height: 7 storeys
- .7 Minimum Landscaped Open Space Width, except where a driveway is permitted:
  - .a abutting Airport Road: 9 metres
  - .b abutting Highway No. 407 right-of-way: 9 metres
  - .c abutting any other road: 3 metres
- .8 no outside storage of goods, materials or machinery shall be permitted.
- .9 no building or structures shall be located closer than 13.7 metres to any lands zoned **A**.

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## 12.1553 Exception 1553

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### 12.1553.1 The lands shall only be used for the following purposes:

- .1 offices;
- .2 bank, trust company or finance company;
- .3 retail establishment;
- .4 personal service shop;
- .5 dry cleaning and laundry establishment;
- .6 dining room restaurant;
- .7 convenience restaurant;
- .8 take-out restaurant;
- .9 grocery store;
- .10 community club;
- .11 health and fitness club;
- .12 purposes permitted by an **M1 PELC** zone, and
- .13 purposes accessory to the other permitted purposes.

### 12.1553.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 9 metres
- .2 Minimum Lot Width: 45 metres
- .3 Minimum Lot Area: 0.75 hectares
- .4 Minimum Street Line Setback:
  - .a from Steeles Avenue: 46 metres
  - .b from any other road: 15 metres
- .5 Maximum Lot Coverage by all buildings and structures: 25 percent of the lot area
- .6 Maximum Building Height: 2 storeys
- .7 Minimum Landscaped Open Space Width, except where a driveway is permitted:
  - .a abutting Steeles Avenue: 12 metres
  - .b abutting any other road: 3 metres

- .8 no outside storage of goods, materials or machinery shall be permitted.

## 12.1554 Exception 1554

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### 12.1554.1 The lands shall only be used for the following purposes:

- .1 purposes permitted by an ~~M1-PE~~ zone.

### 12.1554.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth: 9 metres
- .2 Minimum Lot Width: 60 metres
- .3 Minimum Lot Area: 3.0 hectares
- .4 Minimum Street Line Setback:
  - .a from the Highway No. 407 right-of-way: 46 metres
  - .b abutting any other road: 15 metres
- .5 Maximum Lot Coverage by all buildings and structures: 35 percent of the lot area
- .6 Maximum Building Height: 2 storeys
- .7 Minimum Landscaped Open Space Width, except where a driveway is permitted:
  - .a abutting the Highway No. 407 right-of-way: 9 metres
  - .b abutting any other road: 3 metres
- .8 no outside storage of goods, materials or machinery shall be permitted.
- .9 no buildings or structures shall be located closer than 13.7 metres to any lands zoned A.

## 12.1555 Exception 1555

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### **12.1555.1 The lands shall only be used for the following purposes:**

- .1 the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building, but not any use which is obnoxious by reason of noise or vibration created or the emission of dust, dirt, objectionable odours or gases;
- .2 a warehouse;
- .3 furniture and appliance store;
- .4 retail establishment;
- .5 health and fitness club;
- .6 community club;
- .7 garden Centre sales establishment;
- .8 one only convenience restaurant with drive-through facility, and
- .9 purposes accessory to the other permitted purposes.

### **12.1555.2 The lands shall be subject to the following requirements and restrictions:**

- .1 Minimum Front Yard Depth: 15 metres
- .2 Minimum Lot Width: 60 metres
- .3 Minimum Lot Area: 2.0 hectares
- .4 Minimum Street Line Setback:
  - .a from Steeles Avenue: 46 metres
  - .b from Highway No. 407 right-of-way: 46 metres
  - .c from any other road: 15 metres
- .5 Maximum Lot Coverage by all buildings and structures: 35 percent of the lot area
- .6 Maximum Building Height: 13.7 metres
- .7 Minimum Landscaped Open Space Width, except where a driveway is permitted:
  - .a abutting Steeles Avenue: 15 metres
  - .b abutting Highway No. 407 right-of-way: 15 metres
  - .c abutting any other road: 3 metres
- .8 no outside storage of goods, materials or machinery shall be permitted.

- .9 drive-through facilities for convenience restaurants shall comply with the following:
- .a the drive-through facility must be effectively separated from the parking area;
  - .b the stacking lane must be clearly identified;
  - .c the stacking lane must be located behind the pick-up windows and must accommodate a minimum of 10 cars;
  - .d the entrance to a stacking lane must be not less than 6.0 metres from the street line, and
  - .e the access points must be located so as to minimize the impact of the stacking lane on the internal traffic circulation.

## 12.1556 Exception 1556

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### 12.1556.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by RE2 RE Zone

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### 12.1556.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 68 metres
- .2 Minimum Lot Area:
  - .a for Lot A: 0.55 hectare
  - .b for Lot B: 0.57 hectare

## 12.1557 Exception 1557

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### 12.1557.1 The lands shall only be used for the following purposes:

- .1 the warehousing and storage of goods and products and materials within an enclosed building;
- .2 the manufacture and assembly of the following products:
  - .a clothing and finished textile or fabric products;
  - .b printing, bookbinding and lithographing;
  - .c die castings involving the use of plastics and light metals including aluminum and zinc;
  - .d light manufacturing of tubing, pipes, tools and instruments, electrical components, building hardware, telephone, television, radio and electronic components, drugs and pharmaceutical products, cosmetics and associated products;
- .3 beverage and food processing plants, excluding any obnoxious uses such as a slaughter house, a fowl killing establishment, blood boiling, bone boiling, animal or fish glue or fertilizer factory, tannery, storage of hides, rags and bones;
- .4 shops for the repair or manufacturing of small goods and wares;
- .5 exhibition and conference halls;
- .6 radio, television broadcasting and transmission facilities;
- .7 research establishment;
- .8 business, professional and administrative offices connected with another permitted purpose;
- .9 any use by a public body of the same general character as the other permitted purposes;
- .10 purposes accessory to the other permitted purposes, including a retail outlet operated in connection with an industrial use, provided that the total gross floor area of the retail outlet is not more than fifteen (15%) of the total gross floor area of the industrial use, and
- .11 one dwelling unit, as part of an industrial building, only for the use of a caretaker or night watchman employed in connection therewith.

### 12.1557.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building less than 8 metres in height above grade,
  - .b 15 metres for a building less than 10 metres but greater than 8 metres in height above grade,
  - .c 18 metres for a building less than 12 metres but greater than 10 metres in height above grade,

## Exception Zones

- .d 21 metres for a building less than 15 metres but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 the Minimum Lot Area shall be 2,000 square metres;
- .3 the Minimum Side Yard Width on each side of a building shall be:
  - .a 8 metres for a lot with frontage of 50 metres or less;
  - .b 8 metres plus 12% of the lot width in excess of 50 metres.
- .4 the Maximum Coverage of buildings and structures shall not exceed fifty percent (50%) of the lot area;
- .5 the Minimum Rear Yard Depth shall be 20 metres;
- .6 the Minimum Landscaped Open Space for a corner lot or interior lot having an area greater than 1 hectare shall be provided as follows:
  - .a 50% of the required front yard,
  - .b 50% of the required side yard from the required front yard to the rear wall of the rear most building.
- .7 the Minimum Landscaped Open Space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot;
    - .i 50% of the required front yard,
    - .ii 50% of one required side yard none for the other side yard.
    - .iii none required for an interior side yard.
  - .b for an interior lot:
    - .i 50% of the required front yard,
    - .ii 50% of one required side yard, none for the other side yard.
- .8 truck loading facilities are permitted in the front and side yards if the landscaping requirements for those yards are complied with;
- .9 at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking spaces shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;
- .10 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;

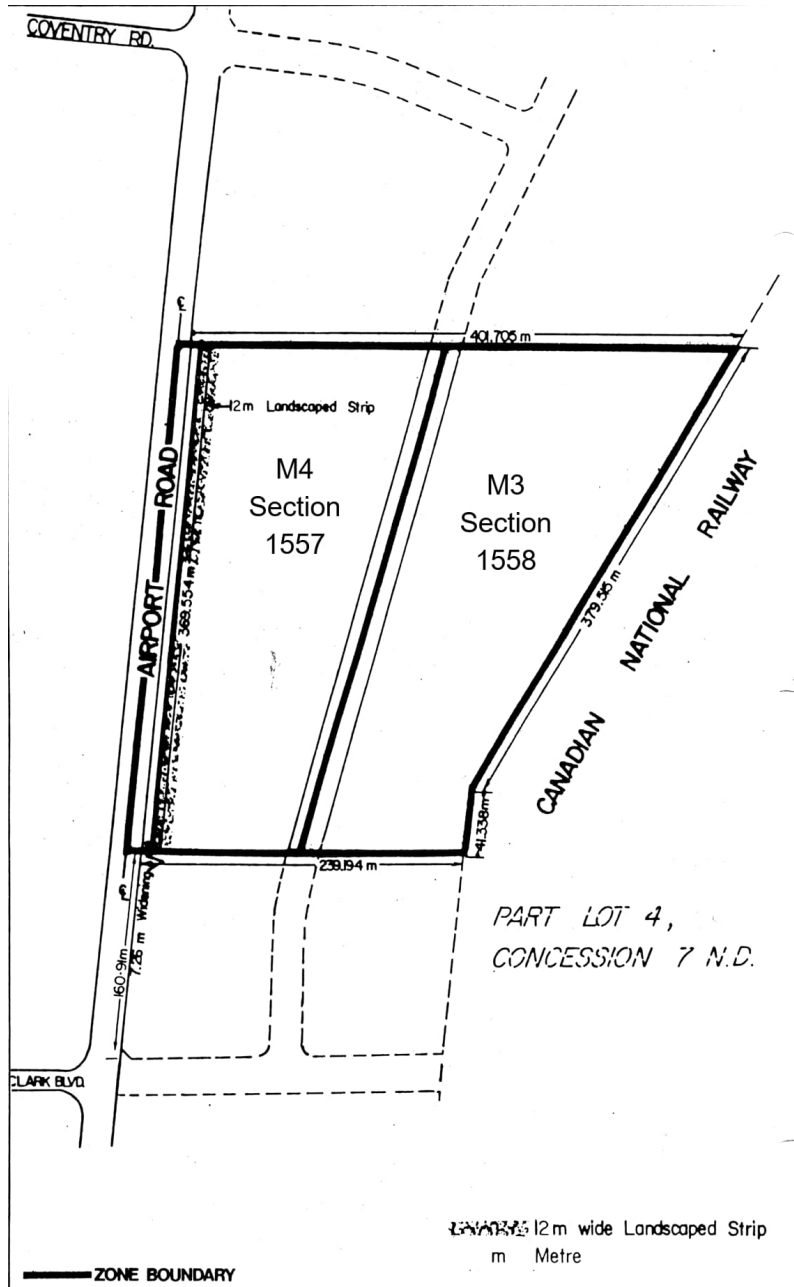
#### Exception Zones

- .b five storeys in height, for office space;
- .11 outside storage of goods, material and equipment shall not be permitted;
- .12** a Landscaping Strip of a minimum of 12 metres in width shall be provided and maintained along Airport Road, as shown on **SCHEDULE C Figure 1 - SECTION EXCEPTION 1557.**

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**Figure 1**

Exception Zones



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## 12.1558 Exception 1558

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### 12.1558.1 The lands shall only be used for the following purposes:

- .1 the purposes permitted by **section-exception 1557.1**.
- .2 the manufacturing, assembly, storage and distribution of semi-finished and finished products, and a truck terminal;
- .3 dry cleaning plants, laundry and dyeing establishments, excluding any dangerous uses;
- .4 dairy product plants and bakeries;
- .5 a builder's supply yard or a contractor's yard including a repair and assembly shop, but excluding any scrap metal storage or salvage yards;
- .6 any purpose accessory to the other permitted purposes.

### 12.1558.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building less than 8 metres in height above grade,
  - .b 15 metres for a building less than 10 metres but greater than 8 metres in height above grade,
  - .c 18 metres for a building less than 12 metres but greater than 10 metres in height above grade,
  - .d 21 metres for a building less than 15 metres but greater than 12 metres in height above grade,
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 an area of at least 50 percent (50%) of the required front yard shall be landscaped open space free of parking, driveway and paved area.
- .3 the Minimum Lot Area shall be 2,000 square metres;
- .4 the Minimum Rear Yard Width shall be 8 metres, except that where the rear lot line abuts a railway right-of-way or easement, no rear yard shall be required;
  - .a the minimum side yard width shall be 8 metres, except that where the side lot line abuts a railway right-of-way or easement, no side yard shall be required;
  - .b an area of at least 50 percent (50%) of the required side yard shall be landscaped open space, free of parking, driveway and pavement;
- .5 truck loading facilities may be located in the side or rear yards;

- .6 a hydro electric transformer shall not be located within the front yard or closer to the street than any part of the front wall of the building;
- .7 the outside storage of goods, material and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area shall be enclosed by a fence or wall not less than 2.4 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement;
  - .c where the storage area abuts a street, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except that where the storage area abuts a railway right-of-way or easement, no landscaping shall be required;
- .8 the provisions of clause 12.1558.2(7) shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
  - .a the total area so used does not exceed five percent (5%) of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;
- .9 all manufacturing and processing operations other than:
  - .a the moving of goods and materials in and out of buildings and structures;
  - .b associated minor preparatory finishing work, and
  - .c associated assembly of components too large to be assembled within the buildings and structures

shall be carried out within the buildings and structures.
- .10 the height of a building shall not exceed four storeys for a manufacturing use, or five storeys for an office use, exclusive of mechanical or elevator areas;
- .11 for the purposes permitted by clause 12.1558.1(1), the parking requirements set out in clause 12.1557.2(8) shall apply;
- .12 for all other purposes, as permitted by clauses 12.1558.1(2) to (6), at least one parking space for each 70 square metres of gross floor area shall be provided on the same lot, and such parking spaces shall be used only for the vehicles of employees and customers, and for vehicles required in connection with the main use of the lot.

## 12.1559 Exception 1559

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### **12.1559.1 The lands shall only be used for the following purposes:**

- .1 a single detached dwelling
- .2 a group home
- .3 a home occupation
- .4 a detached private garage
- .5 an enclosed swimming pool
- .6 purposes accessory to the other permitted purposes not requiring an accessory building or structure, and not including an attached private garage.

### **12.1559.2 The lands shall be subject to the following requirements and restrictions:**

- .1 the Gross Floor Area of a detached private garage shall not exceed 84 square metres.
- .2 enlargement of the single detached dwelling shall be permitted in accordance with the following procedure:
  - .a firstly: conversion of the existing attached private garage into single detached unit purposes, and then
  - .b secondly: enlargement of the single detached dwelling and the former attached private garage.

## 12.1560 Exception 1560

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### 12.1560.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **M4PE**

### 12.1560.2 The lands shall be subject to the following requirements and restrictions:

- .2 Minimum Lot Area: 2,000 square metres
- .3 Minimum Side Yard Width
  - .a for a lot width of 50 metres or less: 8 metres
  - .b for a lot with a width greater than 50 metres but less than 100 metres - 8 metres plus 12 percent of the lot width in excess of 50 metres
  - .c for a lot width of 100 metres or more: 14 metres
- .4 Maximum Coverage of buildings and structures: 50 percent of the lot area
- .5 Minimum Rear Yard Depth: 20 metres
- .6 the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped as follows:
  - .a the minimum landscaped open space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
    - .i 50 percent of the required front yard, and
    - .ii 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building
  - .b the Minimum Landscaped Open Space for lot having an area of 1 hectare or less shall be provided as follows:
    - .i for a corner lot:
      - 1. 50 percent of the required front yard
      - 2. 50 percent of the required exterior side yard, and
      - 3. none required for an interior side yard
    - .ii for an interior lot:
      - 1. 50 percent of the required front yard, and
      - 2. 50 percent of one required side yard and none for the other side yard;
- .7 a Landscaped Buffer Area of a minimum of 12 metres in width shall be provided and maintained along the proposed Arterial Road, as shown on **Schedule C Figure 1 - SECTION EXCEPTION 1560.**

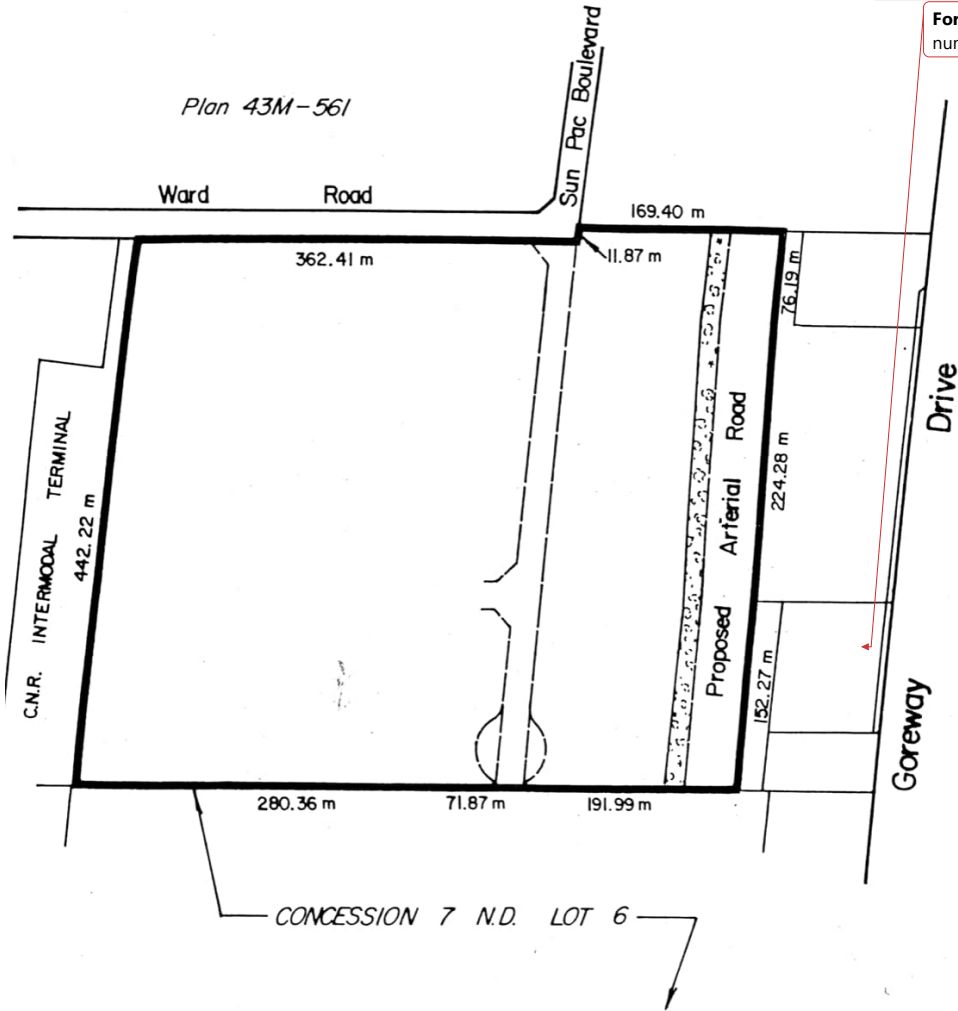
- .8 truck loading facilities are not permitted:
  - .a in the front yard,
  - .b within the front half of the building depth if the building depth is less than 60 metres, and
  - .c within the first 30 metres of the building depth if the building depth is greater than 60 metres
- .9 all operations are to be carried out within buildings, and the height of a building shall not exceed the following, exclusive of mechanical or elevator areas:
  - .a two storeys in height, for manufacturing uses;
  - .b five storeys in height, for office space;
- .10 Outside storage of goods, material and equipment shall not be permitted.

**Figure 1**

Exception Zones

# Exception Zones

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Landscaped Buffer Area (12 m)

## 12.1561 Exception 1561

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### 12.1561.1 The lands shall only be used for the following purposes:

- .1 shall be used for the purposes permitted in a M3-GE zone.

### 12.1561.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth
  - .a 12 metres for a building 8 metres or less in height above grade
  - .b 15 metres for a building 10 metres or less but greater than 8 metres in height above grade
  - .c 18 metres for a building 12 metres or less but greater than 10 metres in height above grade
  - .d 21 metres for a building 15 metres or less but greater than 12 metres in height above grade
  - .e 24 metres for a building greater than 15 metres in height above grade
- .2 Minimum Lot Area: 2,000 square metres;
- .3 Minimum Rear Yard Width: 8 metres, except where the rear lot line abuts a railway right-of-way or easement, in which case no rear yard shall be required;
- .4 Minimum Side Yard Width: 8 metres, except where the side lot line abuts a railway right-of-way or easement, in which case no side yard shall be required;
- .5 no hydro-electric transformer shall be located within the front yard or closer to the street than any part of the front wall of the building;
- .6 outside storage of goods, material and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line.
  - .b the storage area shall be enclosed by a fence or wall not less than 2.0 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement.
  - .c where the storage area abuts a street, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except where the storage area abuts a railway right-of-way or easement, in which case no landscaping shall be required.

- | .7 the provisions of ~~section-exception~~ 12.1561.2(6) shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
- .a the total area so used does not exceed 5 percent of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures.
- .8 all manufacturing and processing operations other than:
- .a the moving of goods and materials in and out of buildings and structures;
  - .b associated minor preparatory and finishing work, and
  - .c associated assembly of components too large to be assembled within the buildings and structures shall be carried out within buildings and structures;
- .9 no building shall have more than four storeys for a manufacturing use or five storeys for an office use, exclusive of mechanical or elevator areas.
- .10 Minimum Landscaped Open Space: 50 percent of all of the following:
- .a minimum required front yard area,
  - .b minimum required exterior side yard area, and
  - .c minimum required interior side yard area.

## 12.1562 Exception 1562

### 12.1562.1 The lands shall only be used for the following purposes:

- .1 a gas bar;
- .2 agricultural purposes, and
- .3 purposes accessory to the other permitted purposes.

### 12.1562.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Width shall be 60.0 metres;
- .2 the Minimum Lot Depth shall be 110.0 metres;
- .3 the Minimum Lot Area shall be 0.85 hectares;
- .4 the Maximum Building Height shall not exceed one storey;
- .5 the Maximum Floor Area of the kiosk shall not exceed 28 square metres;
- .6 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on ~~Schedule C~~ Figure 1 - SECTION-EXCEPTION 1562;
- .7 all buildings shall be located within the area shown as BUILDING AREA on Figure 1 SCHEDULE C - EXCEPTION Section 1562 to this by-law, and
- .8 the garbage enclosure area shall be provided in the location shown on Figure 1 SCHEDULE C - EXCEPTION SECTION 1562.

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**Figure 1**

Exception Zones



## Exception Zones

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## 12.1565 Exception 1565

### 12.1565.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in the **M3-GE** zone.

### 12.1565.2 The lands shall be subject to the following requirements and restrictions:

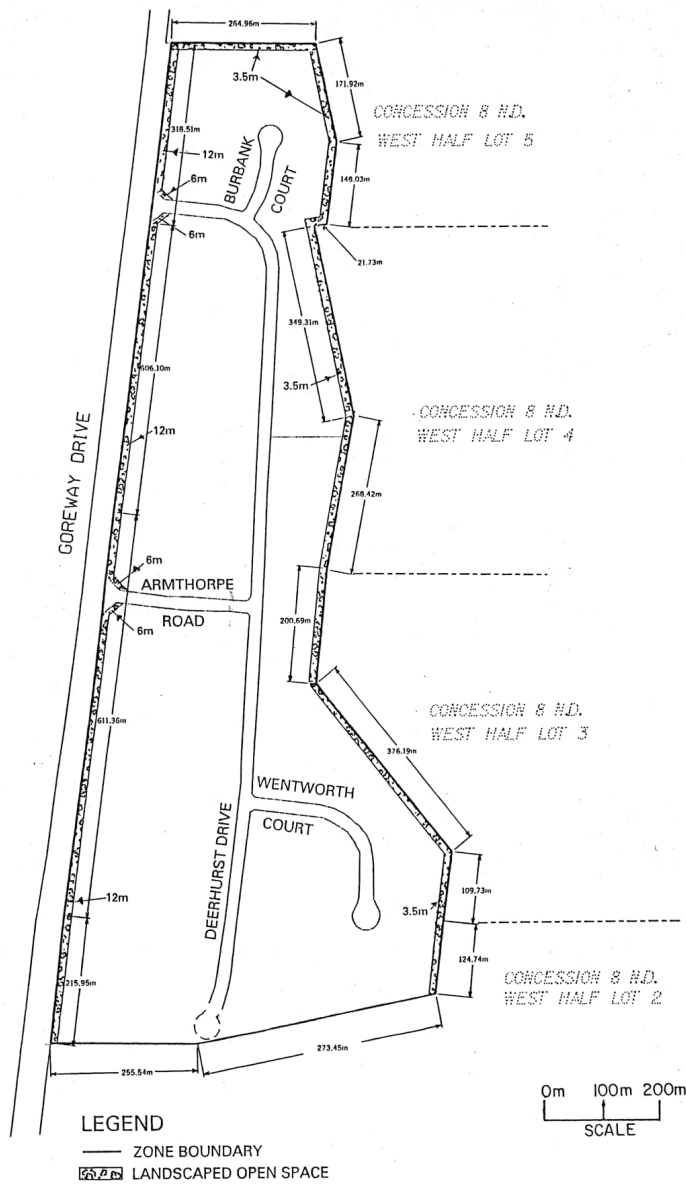
- .1 Minimum Lot Width: 50.0 metres, and
- .2 Outside Storage:
  - .a no storage shall be permitted outside a building, except where such storage is confined to the rear yard or that portion of an exterior side yard not used as landscaped open space, and is adequately screened from the streets and any abutting an Open Space Zone, by an opaque fence having a minimum height of 1.8 metres;
  - .b in cases where solid fence screening is required because of outside storage, the outside storage shall not exceed the height of the solid fence screening;
  - .c no storage shall be permitted on any portion of a lot required for parking, loading, driveways or landscaped open space;
  - .d the storage area shall be enclosed by the building and an opaque fence the same as along the rear lot line a maximum of 2.4 metres in height;
  - .e the screening, where required abutting an Open Space Zone:
    - .i shall be constructed as an opaque fence with a minimum height of 1.8 metres on top of berm with a minimum height of 0.6 metres, or
    - .ii shall comprise an opaque fence with a maximum height of 2.4 metres.
  - .f where the storage area abuts a street, a landscaped strip of 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s), except where the storage area abuts a railway right-of-way or easement, in which case no landscaping shall be required.
- .3 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **SCHEDULE C Figure 1 - SECTION EXCEPTION 1565**.

**Figure 1**

Exception Zones

## Exception Zones

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## 12.1566 Exception 1566

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### 12.1566.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **M4-PE** zone.

### 12.1566.2 The lands shall be subject to the following requirements and restrictions:

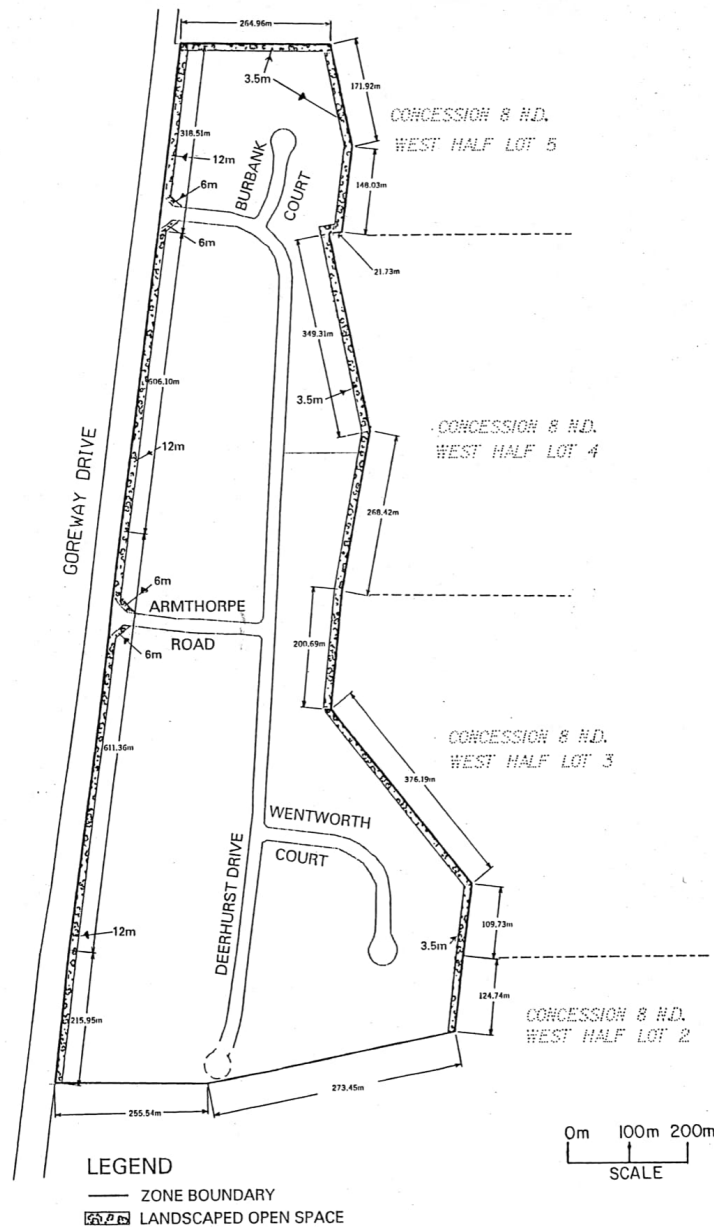
- .1 Minimum Lot Width: 50.0 metres;
- .2 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **Schedule Figure 1C, Section Exception 1566**.

**Figure 1**

Exception Zones

## Exception Zones

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## Exception Zones

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## 12.1568 Exception 1568

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### 12.1568.1 The lands shall only be used for the following purposes:

- .1 a manufacturing, processing, assembling, packaging, repairing, fabricating, warehousing and storage use within a wholly enclosed building;
- .2 retail warehousing;
- .3 a furniture and appliance store;
- .4 a recreation facility and structure;
- .5 a community club;
- .6 an automobile sales dealership and establishment;
- .7 a garden centre sales establishment;
- .8 a public and utility use;
- .9 a service shop;
- .10 a banquet hall; and,
- .11 purposes accessory to the other permitted purposes.

### 12.1568.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Area: 6070 square metres;
- .2 Maximum Coverage: 35 percent;
- .3 Minimum Lot Frontage: 50 metres;
- .4 all buildings and structures shall have a minimum setback of 15.0 metres from the Canadian National Railway right-of-way;
- .5 Maximum Building Height: no restriction;
- .6 a Landscaped Area, not less than 3.0 metres in width, shall be provided and maintained where the lands abut a road;
- .7 an adult entertainment parlour, an adult video store or an adult bookstore shall not be permitted;
- .8 all buildings, structures, sheds and other appurtenances, including paved surfaces shall have a minimum setback of 10 metres from any [Natural System Floodplain \(NSF\)](#) zone.

**12.1568.3 for the purposes of ~~section~~exception 1568:**

- .1 Retail Warehouse shall mean a building or structure, or part of a building or structure, occupied by a single user and having a minimum gross floor area of 465 square metres. The use permitted shall be for the sale of non-food products displayed and stored in a warehouse format.

## 12.1569 Exception 1569

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### 12.1569.1 The lands shall only be used for the following purposes:

- .1 ~~shall only be used for the purposes permitted by SECTION EXCEPTION 1567.1;~~ a manufacturing, processing, assembling, packaging, repairing, fabricating, warehousing and storage use within a wholly enclosed building;
- .2 retail warehousing;
- .3 a furniture and appliance store;
- .4 a recreation facility and structure;
- .5 a community club;
- .6 an automobile sales dealership and establishment;
- .7 a garden centre sales establishment;
- .8 a public and utility use;
- .9 a service shop;
- .10 a banquet hall;
- .11 a self storage facility; and,
- .12 purposes accessory to the other permitted purposes.

### 12.1569.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building less than 8 metres in height above grade;
  - .b 15 metres for a building less than 10 metres but greater than 8 metres in height above grade;
  - .c 18 metres for a building less than 12 metres but greater than 10 metres in height above grade;
  - .d 21 metres for a building less than 15 metres but greater than 12 metres in height above grade, and
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 Minimum Lot Area: 2,000 square metres;
- .3 Minimum Lot Width: 30 metres;
- .4 Minimum Side Yard Width:

- .a 8 metres for a lot with a frontage of 50 metres or less, and
- .b 8 metres plus 12 percent of the lot width in excess of 50 metres.
- .5 Minimum Rear Yard Depth: 20 metres;
- .6 Minimum Landscaped Open Space for a lot having an area greater than 1 hectare shall be provided as follows:
  - .a 50 percent of the required front yard, and
  - .b 50 percent of the required side yard from the required front yard to the rear wall of the rear most building.
- .7 Minimum Landscaped Open Space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot:
    - .i 50 percent of the required front yard,
    - .ii 50 percent of one required side yard none for the other side yard, and
    - .iii none required for an interior side yard.
  - .b for an interior lot:
    - .i 50 percent of the required front yard, and
    - .ii 50 percent of one required side yard, none for the other side yard.
- .8 all operations are to be carried out within buildings;
- .9 Maximum Height of a building shall not exceed two storeys in height, for industrial uses exclusive, of mechanical or elevator areas;
- .10 outside storage of goods, materials and equipment shall not be permitted, and
- .11 a Landscaped Open Space of a minimum of 12 metres in width shall be provided and maintained along Airport Road, and wherever the lot line abuts a 0.3 metre reserve block.

## 12.1570 Exception 1570

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### 12.1570.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by **SECTION EXCEPTION 12.1568.1;**

### 12.1570.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Front Yard Depth shall be:
  - .a 12 metres for a building less than 8 metres in height above grade;
  - .b 15 metres for a building less than 10 metres but greater than 8 metres in height above grade;
  - .c 18 metres for a building less than 12 metres but greater than 10 metres in height above grade;
  - .d 21 metres for a building less than 15 metres but greater than 12 metres in height above grade, and
  - .e 24 metres for a building greater than 15 metres in height above grade.
- .2 Minimum Lot Area: 2,000 square metres;
- .3 Minimum Lot Width: 30 metres;
- .4 Minimum Side Yard Width shall be:
  - .a 8 metres for a lot with a frontage of 50 metres or less, and
  - .b 8 metres plus 12 percent of the lot width in excess of 50 metres;
- .5 Minimum Rear Yard Depth: 20 metres;
- .6 Minimum Landscaped Open Space for a lot having an area greater than 1 hectare shall be provided as follows:
  - .a 50 percent of the required front yard, and
  - .b 50 percent of the required side yard from the required front yard to the rear wall of the rear most building;
- .7 Minimum Landscaped Open Space for a lot having an area of 1 hectare or less shall be provided as follows:
  - .a for a corner lot:
    - .i 50 percent of the required front yard,
    - .ii 50 percent of one required side yard none for the other side yard, and

- .iii none required for an interior side yard.
- .b for an interior lot:
  - .i 50 percent of the required front yard, and
  - .ii 50 percent of one required side yard, none for the other side yard.
- .8 all operations are to be carried out within buildings;
- .9 Maximum Height of a building shall not exceed two storeys in height, for industrial uses, exclusive of mechanical or elevator areas;
- .10 outside storage of goods, materials and equipment is permitted subject to the following conditions:
  - .a the storage area shall not be located in the front yard, or in any required side yard which abuts a street, or on any portion of the lot required for parking, and shall not be closer to any side lot line, except in the rear yard, than the required setback for a building, provided, however, that where the rear yard abuts a street, the storage area shall not be located closer to any rear lot line than the required setback for a building from the rear lot line;
  - .b the storage area shall be enclosed by a fence or wall not less than 2.4 metres in height, constructed of metal, wood or masonry, which is effective in screening the storage area from the street, provided that no fence shall be required on the rear lot line where a rear yard abuts a railway right-of-way or easement, and
- .11 in addition to requirements of (b) above, where the storage area abuts a street or land zoned for purposes other than industrial, a landscaped strip 3 metres in width, containing plant material with suitable screening characteristics, shall be provided and maintained along the affected property line(s);
- .12 the provisions of **section-exception 1570.2(10)** shall not prevent the display in the open of new products produced in or distributed by an industrial establishment, provided that:
  - .a the total area so used does not exceed five percent (5%) of the lot area, and
  - .b such area is not closer to any street than the minimum distance from the street required for buildings and structures;

## 12.1574 Exception 1574

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### 12.1574.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted in a **M4-PE** zone.

### 12.1574.2 The lands shall be subject to the following requirements and restrictions:

- .1 Minimum Lot Width: 80.0 metres, and
- .2 Landscaped Open Space shall be provided and maintained in the areas shown as LANDSCAPED OPEN SPACE on **SCHEDULE Figure 1C - SECTION EXCEPTION 1574** and **SECTION EXCEPTION 1575** (SPECIAL RESERVE), except for only one approved driveway access.

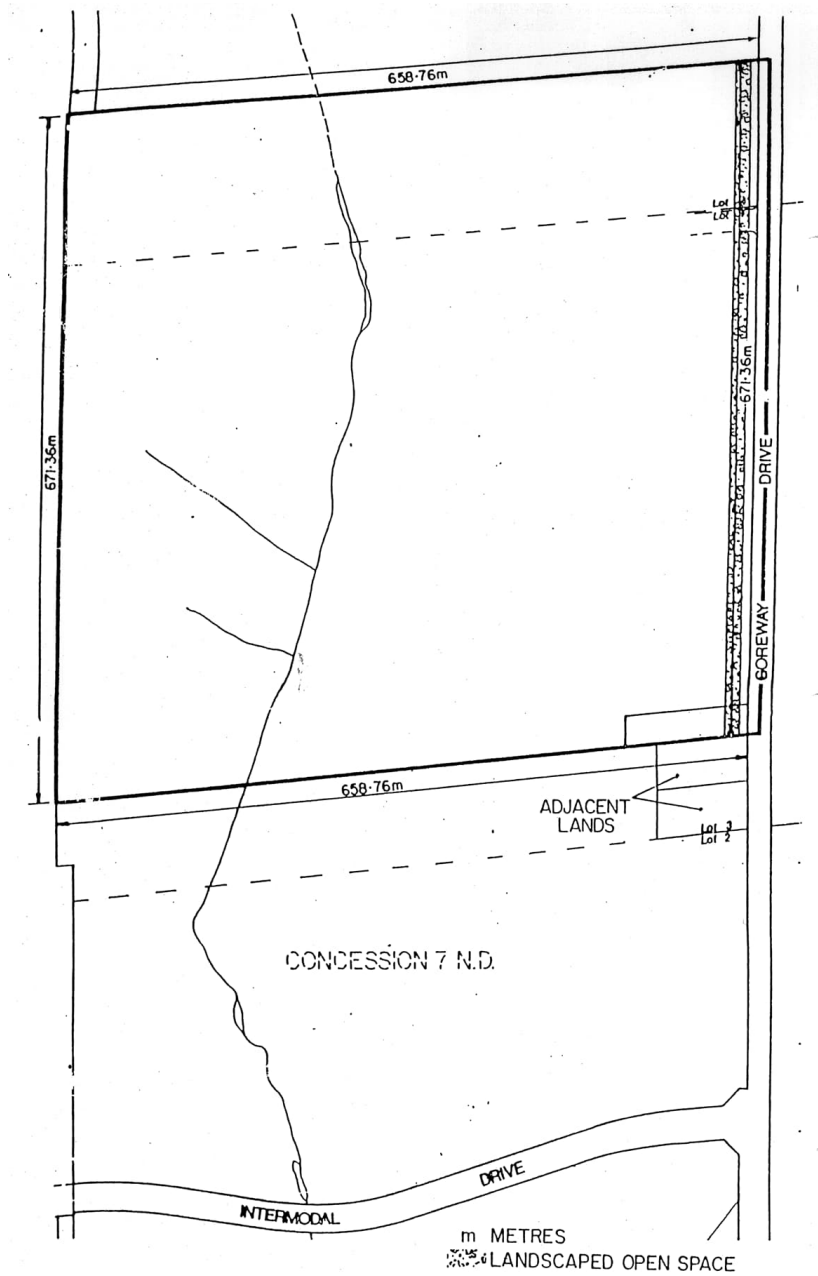
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**Figure 1**

Exception Zones



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## Exception Zones

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## 12.1575 Exception 1575

### 12.1575.1 The lands shall only be used for the following purposes:

- .1 a landscaped buffer area, and
- .2 purposes permitted on lands designated **M4 PE - SECTION EXCEPTION 1574**, but only after the lands shown as ADJACENT LANDS on **SCHEDULE C Figure 1 - SECTION EXCEPTION 1574** and **SECTION EXCEPTION 1575** (SPECIAL RESERVE), which are used for residential purposes, have been rezoned for industrial purposes in accordance with the **M4 PE - SECTION EXCEPTION 1574** zone.

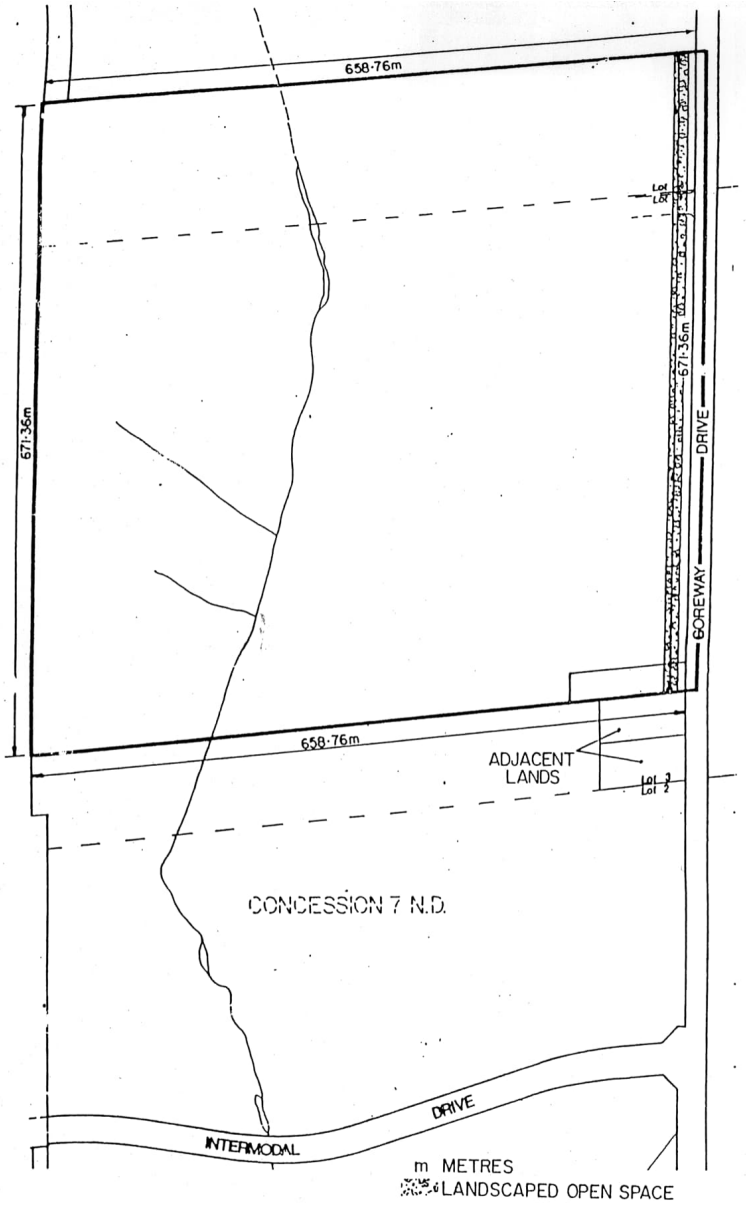
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### 12.1575.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Landscaped Buffer Area shall:
  - .a be located adjacent to the lands used for residential purposes;
  - .b have a minimum width of 30.0 metres, and
  - .c be landscaped and bermed to screen the lands used for residential purposes: The berm shall:
    - .i be continuous and be a uniform height of not less than 3.05 metres;
    - .ii have a maximum slope not exceeding a rise of 1.0 metres for each 3.0 metres of horizontal distance;
    - .iii be sodded and planted with vegetation to maintain stability;
    - .iv have a planting area located on the top suitable for and planted with coniferous plantings not less than 1.5 metres in height when planted to provide a visual screen, and
    - .v be designed so that the surface drainage of the lands shown as ADJACENT LANDS on **SCHEDULE C Figure 1 - SECTION EXCEPTION 1574** and **SECTION EXCEPTION 1575** (SPECIAL RESERVE) is not impaired.

**Figure 1**



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## 12.1577 Exception 1577

### 12.1577.1 The lands shall only be used for the following purposes:

- .1 a metal recycling plant;
- .2 a metal fabrication plant;
- .3 a retail outlet operated in connection with a metal recycling plant or a metal fabrication plant, provided that the gross floor area of the retail outlet is not more than 15 percent of the total gross floor area of the particular industrial use, and provided that any outside storage associated with the retail outlet does not comply more than 15 percent of the land area;
- .4 open storage, and
- .5 purposes accessory to the other permitted purposes.

### 12.1577.2 The lands shall be subject to the following requirements and restrictions:

- .1 open storage of goods and materials shall only be permitted within the area shown as BUILDING AND OPEN STORAGE AREA on ~~Schedule C~~Figure 1-Exception 1577;
- .2 except for driveway locations, LANDSCAPED OPEN SPACE having a width of not less than 17.0 metres shall be provided and maintained in the locations shown on ~~Figure 1-Exception 1577~~Schedule C—Section 1577. The width of a portion of the LANDSCAPED OPEN SPACE may be reduced to a minimum of 11.0 metres where the LANDSCAPED OPEN SPACE is located in a required front yard directly between a building and Intermodal Drive.
- .3 no open storage of goods and materials shall be permitted until a visual screen encloses the BUILDING AND OPEN STORAGE AREA, which visual screen shall comprise a solid fence or wall having a maximum height of 3.0 metres located on top of a landscaped berm having a minimum height of 3.0 metres for a total minimum height of 6.0 metres, to be located and maintained within the area shown as LANDSCAPED OPEN SPACE on ~~Figure 1-Exception 1577~~Schedule C—Section 1577. The required visual screen may be reduced to a landscaped berm only, having a minimum height of 1.8 metres, in that portion of LANDSCAPE OPEN SPACE located within a required front yard directly between a building and Intermodal Drive;
- .4 open storage of goods and materials shall not exceed the height of the visual screen;
- .5 truck parking or open storage of goods and materials shall not be permitted in any required front yard;
- .6 the Minimum Building Height shall be 6.0 metres, and
- .7 the slope of the landscaped berm behind the visual screen may have a minimum ratio of 2:1 facing towards the property zoned ~~M3AGE~~SECTION EXCEPTION 1577, whereas for all other circumstances the minimum ratio of the berm shall be 3:1.

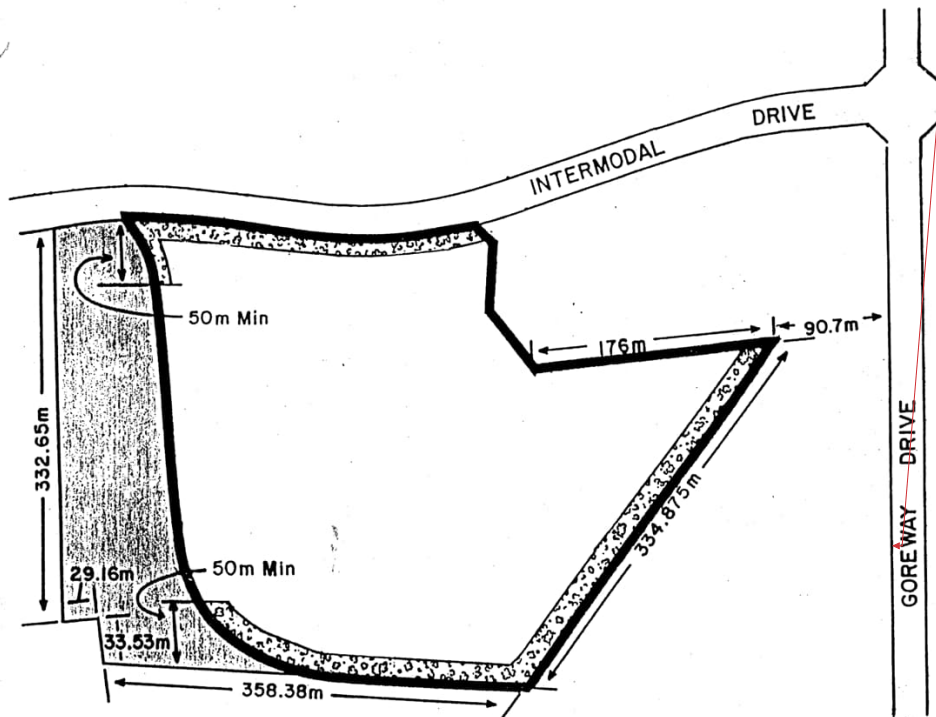
**12.1577.3 for the purposes of ~~section~~ exception 1577:**

- .1 Landscaped Open Space shall mean an unoccupied area of land which is used for the growth, maintenance and conservation of grass, flowers, trees and shrubs and other vegetation, and may include a surfaced walk, patio, screening, pool or similar visual amenity, and an area not exceeding a maximum of 10 metres by 10 metres located in the required front yard, directly between a building and Intermodal Drive for the display of one new or reconditioned machine or piece of equipment, but shall exclude any driveway, ramp, car parking or loading area, curb, retaining wall or any covered space beneath or within any building or structure.







**Figure 1**

Exception Zones

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### Legend

-  Building and Open Storage Area
-  Subject Lands
-  Landscaped Open Space
-  Lands Zoned for Flood Plain Purposes
-  Metre
-  Minimum

## 12.1581 Exception 1581

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### **12.1581.1 The lands shall only be used for the following purposes:**

- .1 the purposes permitted by **exception 1529.1**;
- .2 the sale and leasing of new and used trucks in connection with the industrial use;
- .3 the outside storage of new and used trucks in connection with the industrial use;
- .4 the service and repair of new and used trucks in connection with the industrial use, and
- .5 purposes accessory to the other permitted purposes including a retail outlet operated in conjunction with an industrial use located on the site, provided that the total gross floor area of the retail outlet is not more than twenty percent (20%) of the total gross floor area of the industrial use.

### **12.1581.2 The lands shall be subject to the following requirements and restrictions:**

- .1 the requirements and restrictions of **exception 1529.2**, and
- .2 the storage area will not be permitted in the front yard.

## 12.1582 Exception 1582

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### 12.1582.1 The lands shall only be used for the following purposes:

- .1 shall only be used for the purposes permitted by RE2 RE Zone.

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### 12.1582.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Lot Width shall be 25.0 metres

## 12.1587 Exception 1587

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### **12.1587.1 The lands shall only be used for the following purposes:**

- .1 shall only be used for the purposes permitted in an M1-PE zone.

### **12.1587.2 The lands shall be subject to the following requirements and restrictions:**

- .1 landscaped open space areas shall be provided and maintained as follows:
  - .a 9.0 metres wide abutting Airport Road, except at approved driveway locations;
  - .b 6.0 metres wide abutting Delta Park Boulevard, except at approved driveway locations;
  - .c 3.0 metres wide abutting Nevets Road, except at approved driveway locations; and,
  - .d 3.0 metres wide along the north property boundary

## 12.1589 Exception 1589

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### 12.1589.1 The lands shall only be used for the following purposes:

- .1 a Home Improvement Centre;
- .2 a Home Furnishing Centre;
- .3 an Office dealing specifically with home design, improvement or decorating;
- .4 only in conjunction with the uses permitted in ~~Section-Exception~~ 12.1579.1(1) to 12.579.1(2), a Bank, Trust Company, or Financial Institution; and
- .5 purposes accessory to other permitted purposes.

### 12.1589.2 The lands shall be subject to the following requirements and restrictions:

- .1 the Minimum Exterior Side Yard Width shall be 15 metres.
- .2 the Minimum Lot Width shall be 70 metres.
- .3 the Minimum Lot Area shall be 1.2 hectares.
- .4 the Gross Commercial Floor Area of all buildings and structures shall not exceed 35 percent of the lot area.
- .5 the Maximum Building Height shall be one storey except where the second storey is occupied only by an office, the maximum height shall be 2 storeys.
- .6 the Minimum Landscaped Open Space shall be:
  - .a in the front yard, 60 percent of the required front yard depth;
  - .b in an exterior side yard, 60 percent of the required exterior side yard width, and
  - .c 15 metres in width abutting Highway Number 50.
- .7 no buildings or structures shall be located closer than 15 metres to Highway Number 50.
- .8 no outside storage or display of goods, materials or machinery shall be permitted.
- .9 refuse storage shall be enclosed and shall be screened from all highways and streets.
- .10 all buildings shall have a sloped style roof treatment.

### 12.1589.3 for the purposes of ~~section-exception~~ 1589:

- .1 Home Improvement Centre shall mean a building or part thereof where new home improvement products, such as electrical supplies, plumbing supplies, building materials, including wood products, plants, gardening and landscaping supplies and hardware are stored, displayed or kept for sale.

- .2 Home Furnishing Centre shall mean a building or part thereof where new home furnishing and decorating products such as furniture, appliances, draperies, carpet, floor coverings, paint and wall coverings are stored, displayed or kept for sale.

## 12.1597 Exception 1597

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### 12.1597.1 The lands shall only be used for the following purposes:

- .1 the uses permitted in **FNS** Zone; and
- .2 a golf course and accessory purposes.
- .3 a tennis court
- .4 a golf driving range

### 12.1597.2 The lands shall be subject to the following requirements and restrictions:

- .1 a tennis court shall only be permitted within 75 metres of Ebenezer Road.
- .2 Parking:
  - .a Tennis Court: 4 spaces for each court
  - .b Golf Driving Range: 1 parking space for each tee